



## **Planning and Highways Committee**

Date: Thursday, 15 April 2021

Time: 2.00 pm

Venue: Virtual meeting - <https://vimeo.com/533532228>

### **The Local Authorities and Police and Crime Panels (Coronavirus) (Flexibility of Local Authority and Police and Crime Panel Meetings) (England and Wales) Regulations 2020**

Under the provisions of these regulations the location where a meeting is held can include reference to more than one place including electronic, digital or virtual locations such as internet locations, web addresses or conference call telephone numbers.

To attend this meeting it can be watched live as a webcast. The recording of the meeting will also be available for viewing after the meeting has closed.

## **Membership of the Planning and Highways Committee**

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**Councillors** - Curley (Chair), Nasrin Ali (Deputy Chair), Shaukat Ali, Andrews, Y Dar, Davies, Flanagan, Hitchen, Kamal, Leech, J Lovecy, Lyons, Madeleine Monaghan, Riasat, Watson and White

## Agenda

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**1. Urgent Business**

To consider any items which the Chair has agreed to have submitted as urgent.

**1a Supplementary Information on Applications Being Considered**

The report of the Director of Planning, Building Control and Licencing will follow.

**2. Appeals**

To consider any appeals from the public against refusal to allow inspection of background documents and/or the inclusion of items in the confidential part of the agenda.

**3. Interests**

To allow Members an opportunity to [a] declare any personal, prejudicial or disclosable pecuniary interests they might have in any items which appear on this agenda; and [b] record any items from which they are precluded from voting as a result of Council Tax/Council rent arrears; [c] the existence and nature of party whipping arrangements in respect of any item to be considered at this meeting. Members with a personal interest should declare that at the start of the item under consideration. If Members also have a prejudicial or disclosable pecuniary interest they must withdraw from the meeting during the consideration of the item.

**4. Minutes**

To approve as a correct record the minutes of the meeting held on 18 March 2021.

7 - 10

**5. 126927/FH/2020 - 9 Norman Road, Manchester, M14 5LF - Rusholme Ward**

The report of the Director of Planning, Building Control and Licensing is enclosed.

11 – 34  
**Rusholme  
Ward**

**6. 128936/FH/2020 - 25 Hampton Road, Manchester, M21 9LA - Chorlton Ward**

The report of the Director of Planning, Building Control and Licensing is enclosed.

35 – 52  
**Chorlton  
Ward**

**7. Confirmation of Manchester City Council (109 Parsonage Road, Manchester) Tree Preservation Order 2020 - Withington Ward**

The report of the Director of Planning, Building Control and Licensing is enclosed.

53 – 142  
**Withington  
Ward**

## Meeting Procedure

At the beginning of the meeting the Chair will state if there any applications which the Chair is proposing should not be considered. This may be in response to a request by the applicant for the application to be deferred, or from officers wishing to have further discussions, or requests for a site visit. The Committee will decide whether to agree to the deferral. If deferred, an application will not be considered any further.

The Chair will explain to members of the public how the meeting will be conducted, as follows:

1. The Planning Officer will advise the meeting of any late representations that have been received since the report was written.
2. The officer will state at this stage if the recommendation of the Head of Planning in the printed report has changed.
3. ONE objector will be allowed to speak for up to 4 minutes. There is information below on how to seek to register to speak at an online meeting.
4. The Applicant, Agent or their representative will be allowed to speak for up to 4 minutes. There is information below on how to seek to register to speak at an online meeting.
5. Members of the Council not on the Planning and Highways Committee will be able to speak.
6. Members of the Planning and Highways Committee will be able to question the planning officer and respond to issues that have been raised. The representative of the Highways Services or the City Solicitor as appropriate may also respond to comments made.

Only members of the Planning and Highways Committee may ask questions of the officers. All other interested parties make statements only.

The Committee having heard all the contributions will determine the application. The Committee's decision will in most cases be taken under delegated powers and will therefore be a final decision.

If the Committee decides it is minded to refuse an application, they must request the Head of Planning to consider its reasons for refusal and report back to the next meeting as to whether there were relevant planning considerations that could reasonably sustain a decision to be minded to refuse.

## External participation in the Committee's online meetings

Nominated representatives can continue to request to speak at the committee (only one person will normally be allowed to speak for and against an application). If you wish to nominate someone (including yourself) to speak, please contact <mailto:gssu@manchester.gov.uk> before 10am two days before the scheduled committee meeting (that will normally be before 10am on the Tuesday). You will need to provide:

- Name and contact details of the registered speaker (an email address will be required, in order that the speaker can be invited to join the meeting)
- Description and planning reference number of the matter on which they wish to speak
- If you want to speak in support or as an objector

Only one person can speak for or against any application. Please note that the applicant or an appointed agent will normally speak on their application, so you are unlikely to be able to speak in support of it. If there is more than one nomination to speak against an application, the person whose nomination was received first by the Council will be given that position.

## Information about the Committee

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The Council has delegated to the Planning and Highways Committee authority to determine planning applications, however, in exceptional circumstances the Committee may decide not to exercise its delegation in relation to a specific application but to make recommendations to the full Council.

Copies of the agenda are available beforehand from the reception area at the Main Entrance of the Town Hall in Albert Square and may be viewed on the Council's website up to seven days prior to the date of the meeting (see web information below). Some additional copies are available at the meeting from the Committee Officer.

It is the Council's policy to consult people as fully as possible before making decisions which affect them. Members of the public do not have a right to speak at meetings but may do so if invited by the Chair. If you have a special interest in an item on the agenda and want to speak, tell the Committee Officer, who will pass on your request to the Chair. Members of the public are requested to bear in mind the current guidance regarding Coronavirus (COVID-19) and to consider submitting comments via email to the Committee Officer rather than attending the meeting in person. The contact details of the Committee Officer for this meeting are listed below.

Agenda, reports and minutes of all Council meetings can be found on the Council's website [www.manchester.gov.uk](http://www.manchester.gov.uk)

Joanne Roney OBE  
Chief Executive,  
3<sup>rd</sup> Floor, Town Hall Extension,  
Lloyd Street,  
Manchester, M60 2LA

## Further Information

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For help, advice and information about this meeting please contact the Committee Officer:

Andrew Woods  
Tel: 0161 234 3011  
Email: [andrew.woods@manchester.gov.uk](mailto:andrew.woods@manchester.gov.uk)

This agenda was issued on **Tuesday, 6 April 2021** by the Governance and Scrutiny Support Unit, Manchester City Council, Level 3, Town Hall Extension (Lloyd Street Elevation), Manchester M60 2LA.



## **Planning and Highways Committee**

### **Minutes of the meeting held on Thursday, 18 March 2021**

**This Planning and Highways meeting was a meeting conducted via Zoom, in accordance with the provisions of the Local Authorities and Police and Crime Panels (Coronavirus) (Flexibility of Local Authority and Police and Crime Panel Meetings) (England and Wales) Regulations 2020.**

**Present:** Councillor Curley (Chair)

**Councillors:** Shaukat Ali, Nasrin Ali, Andrews, Y Dar, Davies, Flanagan, Hitchen, Kamal, Leech, Lovecy, Lyons, Madeline Monaghan, Riasat, Watson and White

#### **PH/21/15 Supplementary Information on Applications Being Considered**

A copy of the late representations that were received in respect of application 126927/FH/2020, since the agenda was issued. Additional late representations had been received in respect of the Tree Preservation Order (7 Brunswick Road, Manchester, M20 4GA).

#### **Decision**

To receive and note the late representations.

#### **PH/21/16 Minutes**

#### **Decision**

To approve the minutes of the meeting held on 18 February 2021 as a correct record.

#### **PH/21/17 126927/FH/2020 - 9 Norman Road, Manchester, M14 5LF - Rusholme Ward**

This application relates to the erection of two storey side and part two, part single storey rear extension to provide additional living accommodation.

The Planning Officer introduced the application and informed the Committee that the supplementary information referred to an amendment on the application relating to the length of the ground floor rear extension that projects 6 metres and the first-floor rear extension that projects 3 metres.

A speaker addressed the Committee to object to the application on behalf of local residents and the Rusholme and Fallowfield Civic Society. The Committee was

asked to consider that the building of semi-detached houses is not listed but is of significant interest to the area and have been family homes. The size of the proposed extension is considered to be too far and beyond permitted development rules. The impact of the extensions on the neighbouring properties will be significant. The loss of greenery around the properties will be detrimental for the character of the area. Families and extended families are welcomed in the area to develop existing properties, but within the planning rules.

The applicant addressed the Committee on the planning application.

The chair invited members of the Committee to ask questions.

A member referred to an image of the application document of the front aspect of the properties concerned that included a political party sign and gave an assurance that the image would not have any involvement in the consideration of the application and should not be visible in the image.

The Planning Officer noted the matter and gave an assurance that political signs would not be included in images. The Committee was advised that the application has been substantially revised since it was first submitted and that each application is required to be considered on the individual merits and site specific circumstances. In this case there is a small single storey rear extension at the adjoining property and the rear of the pair of semi-detached properties is north facing, so any loss of direct sunlight would be in the late afternoon or early evening. It is considered that there is sufficient separation from windows at 11 Norman Road so as not to have an unduly detrimental impact. A single storey rear extension of up to 6m in length could be erected close to or up to the common boundary under permitted development subject to an application for Prior Approval for a larger homes extension.

A member referred to the use of online maps and images and requested that a site visit would be helpful for the Committee to view the properties in view of the range of views that have been submitted. This was supported by other members of the Committee.

Councillor Davies moved a proposal for the Committee to undertake a site visit.  
Councillor Lovecy seconded the proposal.

### **Decision**

To agree to defer consideration of the planning application to allow a site visit to be carried out by the members of the Committee.

### **PH/21/18      Objection to Tree Preservation Order JK/4/12/2020 – 7 Brunswick Rd, Manchester, M20 4GA – Withington Ward**

The Committee considered a report of the Director of Planning, Building Regulations and Licensing relating to the background and issues involved in the making of a Tree Preservation Order (TPO) on 4th December 2020 and to recommend the



confirmation of this Tree Preservation Order. The Committee was requested to consider 4 objections made to this order and 14 representations in support of the TPO. This relates to a Tree Preservation Order (TPO) on a mature Oak tree (T1) within the rear garden of 7 Brunswick Road, Manchester, M20 4GA.

The Planning Officer informed that Committee that additional information had been received and outlined this to the Committee.

The spokesperson representing objectors to the proposed TPO addressed the Committee. Reference was made to the images of the tree and the inability to see the tree from the street. The surrounding properties have a view of the tree and believe the tree has a negative impact on amenity. It was reported that negotiations with the applicant had not achieved a positive outcome regarding the maintenance of the tree. It was considered that the increase of TPO's on trees may have a negative outcome on existing trees where a property is for sale and would be more attractive without a large tree in its grounds.

The applicant addressed the Committee.

The Planning Officer reported that the tree had been assessed and is considered to have high visual amenity and forms part of the landscape character of the area. Agreement had been reached with the owner on the pruning to reduce shading in neighbouring gardens.

A member stated that the recommendation for confirming the TPO was clear and if not agreed may result in the tree being pruned back to the boundary.

Councillor Andrews moved the recommendation to approve the application.  
Councillor Shaukat Ali seconded the proposal.

### **Decision**

The Committee agreed that the City Solicitor be instructed to confirm the Tree Preservation at 7 Brunswick Road, Manchester M20 4GA, under Section 199 of the Town and Country Planning Act 1990, and that the Order should cover the tree as plotted T1 on the plan as detailed in the report submitted.

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<b>Application Number</b>	<b>Date of Appln</b>	<b>Committee Date</b>	<b>Ward</b>
126927/FH/2020	18th May 2020	15th April 2021	Rusholme Ward

**Proposal** Erection of two storey side and part two, part single storey rear extension to provide additional living accommodation

**Location** 9 Norman Road, Manchester, M14 5LF

**Applicant** Mr Muhammad Mahmood , 9 Norman Road, Manchester, M14 5LF

**Agent** Mr Nasar Ishfaq, JAAN Architects Ltd, 37 Sudbury Drive, Stockport, SK8 3BT

### **Executive Summary**

This application is for the erection of side and rear extension to the outrigger of a large semi-detached property to form a multi-generational home. The property is not listed or in a conservation area, however, it is a distinctive property with ground floor front bay window and projecting arch porch with stepped access. The proposed extensions have been amended since they were originally submitted to reduce their scale and to reduce impacts on the appearance of the main body of the building and the adjoining property.

The main issues arising from the proposals are the intended levels of occupation of the property together with the impacts on residential and visual amenity that arise from the proposed extensions.

10 neighbouring occupiers were notified of the application proposals, due to the amendments to the proposals a further notification period was undertaken. As a result of this process there has been a high level of interest in the application, with 94 objections and 35 comments in support received over the two notification periods. Local ward members have also commented on the scheme.

### **Description**

This application was placed before the Planning and Highways Committee on the 18th March 2021 and at that meeting the Committee deferred deliberation in order to allow Members to undertake a site visit due to concerns relating to the impact of the proposed extension on the residential amenity enjoyed by neighbouring occupiers and to have a greater appreciation of the visual impact of the works proposed.

This application relates to a large two storey semi-detached villa on the north side of Norman Road. The property has an elevated ground floor and is accessed by a flight of steps leading to a substantial decorative entrance porch. There is also a flat roofed bay to the ground floor and basement levels. At the rear there is a three-storey outrigger shared with the adjoining property. On the side of the outrigger is a substantial bay window, glazed on three sides. There is a substantial attached garage, 8 metres deep by 2.3 metres wide, at the side of the main body of the

property infilling the space between the building and the site boundary. The property has a hipped roof with decorative brick eaves detailing. The outrigger has a dual pitch roof with a gable to the rear elevation. The building was originally of brick construction, this has, together with the neighbouring property been painted in a combination of off white and grey.



**Front elevation of number 9 and 11 Norman Road (no. 9 to the left hand side)**

The front garden is 9.6 metres wide by 11.5 metres deep. There is a drive on the west side and a pedestrian gate adjacent to the boundary with the adjoining property. The rear garden is 20 metres long. The rear garden contains a number of shrubs but no trees although there are TPO trees in the neighbouring garden of number 7 Norman Road.



**View of the rear of the application property to the right and adjoining semi-detached property**

In December 2017 planning permission reference 117702/FH/2017 was granted for the erection of a single storey rear extension on the outrigger projecting 3.5 metres. The planning permission has not been implemented.

The site is located in a predominantly residential area. The other half of the semi is a mirror image although without the side garage and the plot is not quite as wide.

To the east is a large two storey double fronted detached property, again with an elevated ground floor. This property has a 27 metre deep front garden resulting in the front face of the property being level with the rear face of the outrigger of the application property. The ground floor appears to be in use as offices for psychotherapist, psychologists and psychiatrists, with residential use above. There are several trees, two of which are subject to Tree Preservation orders in the front garden separated from the shared boundary with 9 Norman Road by a drive.

To the north of the site adjoining the rear garden is the rear garden of a residential property at 32 Hall Road. The distance from the rear wall of the application property to the boundary fence with this garden is 20 metres.

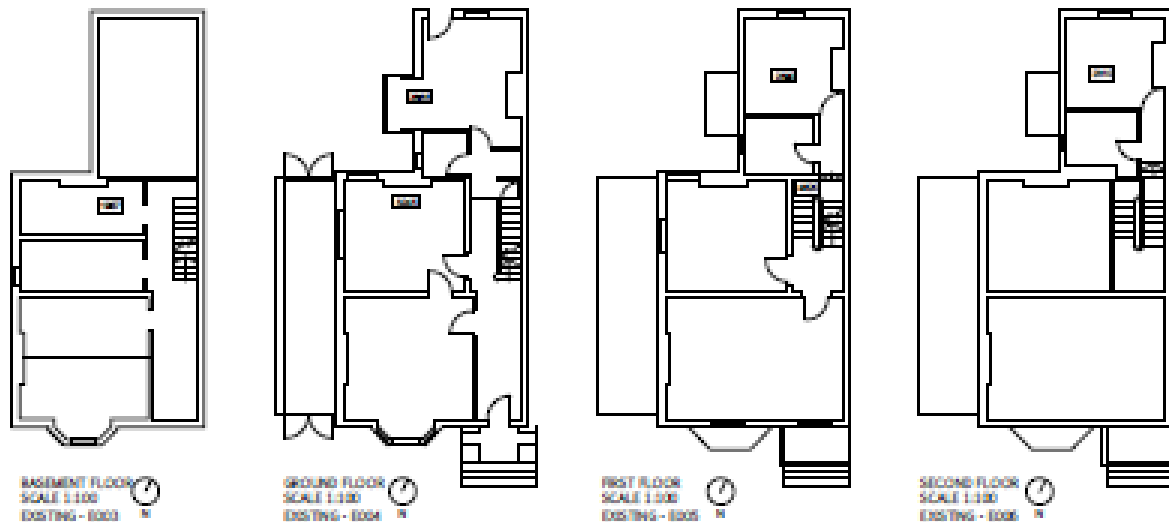
This application proposals have been amended since they were originally submitted, and planning permission is now sought for the erection of a two storey side and part two, part single storey rear extension.

The two-storey side extension would project approximately 2.7 metres from side of outrigger, so that the side elevation is set in approximately half a brick to create a

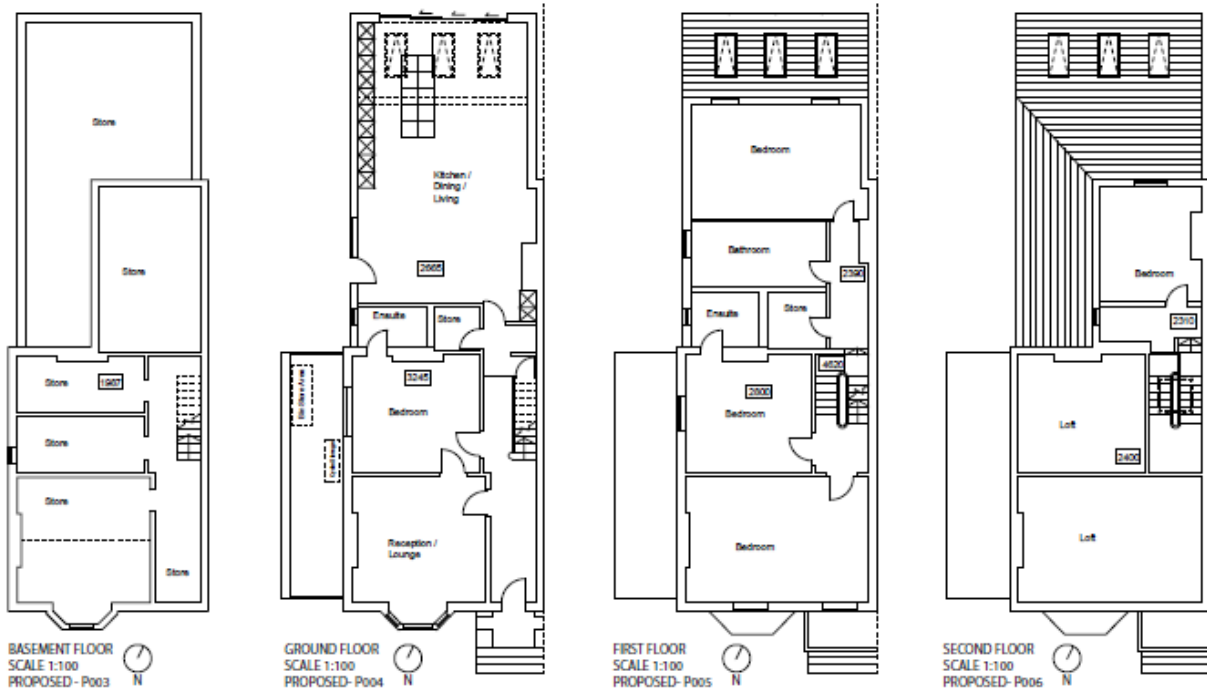
break between the existing building and the proposed. The rear extension would project approximately 6 metres at ground floor level and approximately 3 metres at first floor level. The rear extensions would be set in marginally from the shared boundary but otherwise occupy the full width of the outrigger and the proposed side extension. The two-storey part of the extension would have a hipped roof that wraps around the side and rear of the property and the single storey element would have a mono pitch roof.

The side elevation of the extension would contain at ground floor level a door with a glazed side panel to the open plan living area and a window to an en-suite. At first floor level would be two windows; one to an en-suite and the other to a bathroom. In the rear elevation there would be a set of bi folding doors across the width of the extension at ground floor level and two-bedroom windows at first floor level. The mono pitch roof to the ground floor would have three roof lights.

The existing floorplans are shown below.



Following the erection of the proposed development the accommodation would comprise, storage in the basement. On the ground floor a reception room, a large open plan, living space, a bedroom with en-suite and a store. On the first floor would be three bedrooms, one with an en-suite, a bathroom and a store. The second floor would contain a bedroom above the outrigger and loft space above the main body of the house. The proposed floorplans are shown below.



**Proposed floor plans that also show refuse and cycle storage within the existing garage.**

The applicant has indicated that the extensions are required as the property is to be used as a multi-generational family home.

**Consultations**

Ward Members

Councillor Ahmed Ali objected to the application as originally submitted. The comments made were:

- The plans as submitted would entirely wreck the pleasingly simple symmetry of the original historic facade, by both extending it significantly to the west (across the whole of the current driveway/sideway) and also creating an entirely anachronistic new dormer feature reshaping the original roof design.

- The plans significantly alter the established balance between buildings and spacious garden settings that are a characteristic feature of the design heritage of this area of Birch-in-Rusholme.

- It is also proposed to remove the front garden's soft landscaping and replace this with hard standing in order to make up for the loss of off-street from the built-over sideway. This and the loss of established soft-landscaped back gardens is not acceptable in a time when our city has to prioritise retaining and extending soft-landscaping to combat climate change.

- The scale and form of the proposed reconstruction of this house is unacceptable. It also brings with it the danger of a subsequent repurposing for HMO usage, which the previous owner had unsuccessfully attempted and which would be wholly undesirable in this area and lose its aesthetic appearance.

Councillor Rabnawaz Akbar has commented in respect of the revised scheme. His comments are:.

He declares an interest in that he knows one of the parents of the applicant, the father, and knows the family at 11 Norman Road extremely well too; , the relationship with both these families goes back prior to being elected as a Councillor for the Rusholme ward in 2010.

Confirms that after a long discussion with the applicant that this will be a family home. The applicant is moving back to Manchester from his present residence in Birmingham. The applicant's parents presently live elsewhere in Rusholme and the applicant has a family comprising of a wife and 3 children. His desire is for his parents and, relative, to move in with him and his family .

States he is strongly in favour of family homes in Rusholme and like many of the objections feels there are too many HMO's/flats which sadly get neglected over time and result in families moving away from the neighbourhood. It is also a fact that with the changing demographics of the city, more families from the Black, Asian and Minority Ethnic background are looking out for large properties which will meet the need of multigenerational living.

With regards to the main concerns from the neighbours which are conversion to HMO, overdevelopment, loss of light and the 45-degree rule and the loss of landscaping. The applicant has stated that this is going to be a family home and not a HMO. He is moving to Manchester from Birmingham with his family.

As for overdevelopment and the fact that there was a previous owner who was unsuccessful, it is I believed the previous owner's intention was to convert into a HMO whereas this applicant is repeatedly stating that this is going to be a family home and he needs the space for a multigenerational household. . Can we place a condition that it cannot be converted into a HMO?

As for the loss of light and the 45-degree rule, I am no planning expert, and I would leave this decision in the hands of the Planning Service.

With regards to the last point about loss of soft landscaping, multigenerational households tend to have more vehicles per household and parking is major issue (even street parking) and people want their vehicles to be safe at night so it is no surprise that the applicant is looking to create space which will keep the vehicles registered at this property safe. The opinion of neighbours that it will spoil the street view of one of the area's most unique and historic buildings cannot be ignored but the applicant is keen to reinforce that this is not the intention and it is more a case of need.

Afzal Khan MP - Forwarded a request he had received for assistance from the applicant.



## Local Residents.

Residents were notified on two occasions in respect of the proposed development and the subsequently amended proposals. The initial notification received 57 responses objecting to the proposed development and 1 supporting the application. The issues raised are summarised below.

### Comments opposing the proposed development

- The proposal would have a detrimental impact on this historic house.
- The proposal is an overdevelopment of the site.
- There is a risk that such a large building will become a House in Multiple Occupation.
- The development will result in the loss of the front garden.
- The development will harm a much loved historic building.
- There will be a loss of amenity.
- The condition of the building has been allowed to deteriorate by the applicant.
- The proposed dormers are out of character with the building.
- The extensions would detract from the character of the area.
- One of the properties used to justify the proposed development is the subject of enforcement action.
- The extensions would have an overbearing impact on the adjoining properties.
- The development would destroy the symmetry of this pair of semi detached properties.
- The development could result in flooding.
- One of several applications in the area seeking to overdevelop sites.
- An application for a two storey extension was withdrawn when faced with refusal (no record can be found of any such application)

### Comments supporting the proposed development

- The development will bring back into use a run down and neglected building.

The re- notification following the redesign of the scheme resulted in 37 responses objecting to the proposal, 34 supporting the application and 1 neutral response.

### Comments objecting to the proposal

- The design and access statement has not been updated, for the revised proposal.
- The development does not comply with the Residential quality guidance as there will be a poor quality of light in the rooms.
- As a result of the revisions to the proposed development the number of bedrooms has been reduced and it is not inconceivable that the rooms within the building are sub divided to make up the shortfall.
- The extensions will adversely affect the general character of the property.
- The extensions will result in overlooking and a loss of daylight to the adjoining properties.
- The applicant does not live in the property yet and therefore should have looked for a property more suited to his needs rather than excessively extending the property.
- The bulk of the extensions will impact on the street scene.
- There are no details of the proposed car parking and it is possible that the front of the property could be converted into a car park.

- The property has been left vacant and deliberately allowed to deteriorate to help justify the proposed works.
  - The development will encourage more students to come to the area.
  - This is the first stage of turning the property into a House in Multiple Occupation
  - The proposal will result in an increased risk of flooding as the site is within a flood plain.
  - The proposals will wreck the appearance of this pair of Victorian villas, and thus that of no.11. These houses are among the oldest houses in the area and have significant historic value. It is inconceivable that such major changes should be made to either house.
  - The development would result in the loss of soft landscaping.
- The proposal shows no respect to the community
- The extension is twice the size of a previous unsuccessful application.
  - The proposal does not comply with the 45 degree rule.

Comments in support of the proposal.

- The development would bring into use a vacant building that is detracting from the area
- The proposal looks good.
- It is right to be able to extend your property so that you live close to family and friends.
- The objections are unfair and cannot be justified.

Rusholme and Fallowfield Civic Society

In respect of the application as submitted the Society were concerned about the scale of the extensions, the impact on the fenestration, the use of the property, the impact on the amenity of neighbours and the impact on the building lines.

The Civic Society also submitted comments objecting to the revised proposals. The issues raised are summarised below.

- The design and access statement has not been updated, for the revised proposal.
- The development does not comply with the Residential quality guidance as there will be a poor quality of light in the rooms.
- As a result of the revisions to the proposed development the number of bedrooms has been reduced and it is not inconceivable that the rooms within the building are sub divided to make up the shortfall.
- The extensions will adversely affect the general character of the property.
- The extensions will result in overlooking and a loss of daylight to the adjoining properties.
- The applicant does not live in the property yet and therefore should have looked for a property more suited to his needs rather than excessively extending the property.
- The bulk of the extensions will impact on the street scene.
- There are no details of the proposed car parking and it is possible that the front of the property could be converted into a car park.
- The proposed development will maximise the homes potential.

Neighbourhood Services Arboriculture.

Have viewed the proposed floor plan and photos provided by the applicant and confirms that much of the rear garden (where you would potentially expect to find roots from the offsite trees) is currently covered in a concrete slab and therefore due to the limited permeability of the concrete, it is not likely that a great deal of rooting activity would be found in this location.

An arboricultural method statement which identifies the percentage of Root Protection Area estimated to be in this location and how they proposed to minimise the impact the development will have on it; should be submitted before the development commences. However, it is considered that the proposed development would not have a significant impact on the offsite tree stock.

## **Policies**

### **Core Strategy**

The Core Strategy Development Plan Document 2012 -2027 ("the Core Strategy") was adopted by the City Council on 11th July 2012. It is the key document in Manchester's Local Development Framework. The Core Strategy replaces significant elements of the Unitary Development Plan (UDP) as the document that sets out the long term strategic planning policies for Manchester's future development. A number of UDP policies have been saved until replaced by further development plan documents to accompany the Core Strategy. Planning applications in Manchester must be decided in accordance with the Core Strategy, saved UDP policies and other Local Development Documents.

Relevant policies in the Core Strategy are detailed below:

Policy SP1, Spatial Principles – Development in all parts of the City should make a positive contribution to neighbourhoods of choice including creating well designed places that enhance or create character and protect and enhance the built and natural environment.

Policy DM1, Development Management – This policy states that all development should have regard to the following specific issues for which more detailed guidance may be given within a supplementary planning document:-

- Appropriate siting, layout, scale, form, massing, materials and detail.
- Impact on the surrounding areas in terms of the design, scale and appearance of the proposed development. Development should have regard to the character of the surrounding area.
- Effects on amenity, including privacy, light, noise, vibration, air quality, odours, litter, vermin, birds, road safety and traffic generation. This could also include proposals which would be sensitive to existing environmental conditions, such as noise.
- Accessibility: buildings and neighbourhoods fully accessible to disabled people, access to new development by sustainable transport modes.
- Community safety and crime prevention.
- Design for health.
- Adequacy of internal accommodation and external amenity space.
- Refuse storage and collection.

- Vehicular access and car parking.
- Effects relating to biodiversity, landscape, archaeological or built heritage.
- Green Infrastructure including open space, both public and private.
- The use of alternatives to peat-based products in landscaping/gardens within development schemes.
- Flood risk and drainage.
- Existing or proposed hazardous installations.
- Subject to scheme viability, developers will be required to demonstrate that new development incorporates sustainable construction techniques

### **Unitary Development Plan for the City of Manchester (1995)**

The Unitary Development Plan for the City of Manchester was adopted in 1995 and has largely been replaced with the policies contained within the Core Strategy. However, there are a number of policies that are extant and are relevant to consideration to the proposed extension to a residential dwellinghouse.

Policy DC1 of the Unitary Development Plan seeks to accommodate the demand for more living space, while at the same time ensuring that the amenities of neighbours are protected, and that the overall character of the surrounding area is not harmed. It relates specifically to residential extensions and the relevant criteria from this policy include:

DC1.1 The Council will have regard to:

- a. The general character of the property
- b. The effect upon the amenity of neighbouring occupiers
- c. The overall appearance of the proposal in the street scene;
- d. The effect of the loss of any on-site car-parking

Policy DC1.2 states extensions will be allowed subject to:

- a. They are not excessively large or bulky (for example, resulting in structures which are not subservient to original houses or project out too far in front of the original buildings)
- b. They do not create a loss of sunlight/daylight or privacy
- c. They are not out of character with the style of development in the area
- d. They would not result in the loss of off-street parking

Policy DC1.3 states that Notwithstanding the generality of the above policies, the Council will not normally approve:

- a. rearward extensions greater than 3.65m (12 ft) in length;
- b. 2-storey extensions with a flat roof, particularly those which would be visible from the public highway;
- c. 2-storey extensions to terraced properties which occupy the full width of the house;
- d. flat roofed extensions to bungalows;
- e. extensions which conflict with the Council's guidelines on privacy distances (which are published as supplementary guidance).

DC1.4 In considering proposals for 2-storey side extensions, the Council will have regard to the general guidance above and also to supplementary guidance to be issued. In particular, the Council will seek to ensure that:

- a. the development potential of the gap between detached and semi-detached houses is capable of being shared equally by the owners or occupiers of the two

properties concerned;

b. the actual or potential result of building the extension will not be the creation of a terracing effect, where this would be unsympathetic to the character of the street as a whole;

c. the actual or potential result of building the extension will not be the creation of a very narrow gap between the properties, or any other unsatisfactory visual relationships between elements of the buildings involved.

As a guide, and without prejudice to the generality of this policy, the Council will normally permit 2-storey house extensions which, when built, would leave a minimum of 1.52m (5 ft) between the side wall and the common boundary, and which meet the other requirements of this policy. Proposals which cannot meet these requirements will be judged on their merits, but with weight being given to (a) and (c) above.

DC1.5 The Council will consider on their merits exemptions to the above policies in the case of applications from disabled people who may require adaptations to their homes.

### Green Blue Infrastructure

The strategy lays the foundations for the preservation and improvement of green and blue infrastructure within the City. It is considered that gardens form an important part of this infrastructure. The Strategy advised that gardens play an important part in defining the character and attractiveness of an area.

### Guide to Development In Manchester

The Guide aims to support and enhance the on-going shaping of the City by providing a set of reasoned principles which will guide developers, designers and residents to the sort of development appropriate to Manchester.

It seeks to retain the essential distinctiveness of its character areas, whilst not precluding new development.

### **National Planning Policy Framework**

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these should be applied. It provides a framework within which locally prepared plans for housing and other development can be produced. Planning law requires that applications for planning permission be determined in accordance with the development plan, i.e. the Core Strategy Development Plan Document and accompanying policies, unless material considerations indicate otherwise. The NPPF is a material consideration in planning decisions.

Paragraph 11 states that plans and decisions should apply a presumption in favour of sustainable development which for decision-taking this means:

- approving development proposals that accord with an up-to-date development plan without delay; or
- where there are no relevant development plan policies, or the policies which are

most important for determining the application are out-of-date, granting permission unless:

- i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
- ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

## **Issues**

### Principle

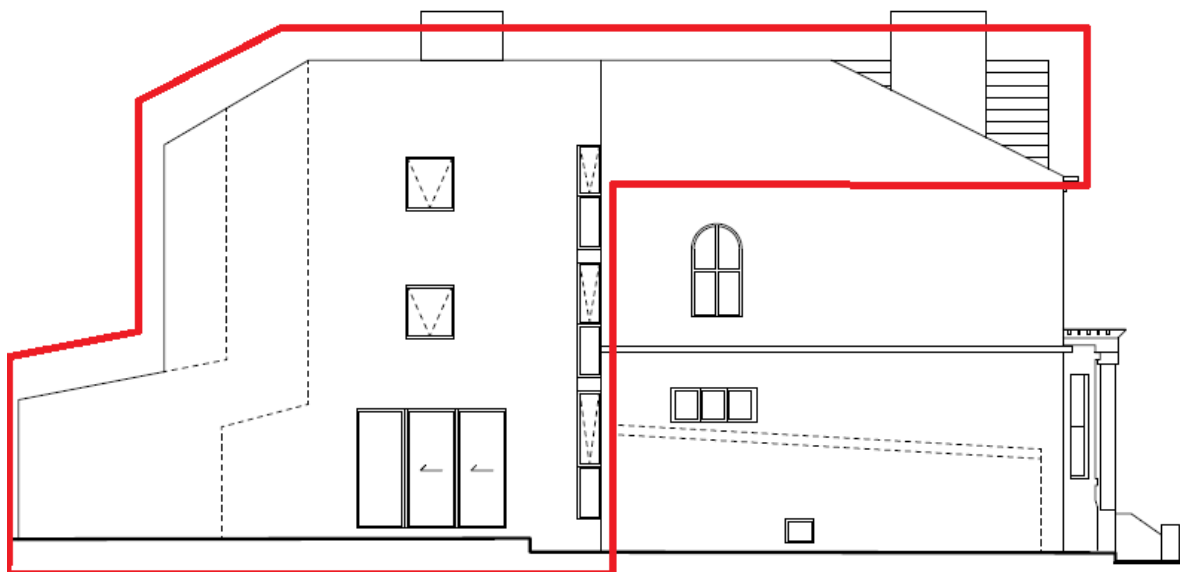
The principle of householders extending their properties to provide additional living accommodation and meet changing needs is generally considered acceptable subject to further consideration of impacts on residential and visual amenity. As set out below the proposed development is considered to accord with the principle of extending a residential property as set out in saved UDP policy DC1.

### Scale

The originally submitted proposal sought to envelop the outrigger and add an additional floor to the whole building with a hip to gable conversion and substantial rear dormer. These are demonstrated on the following drawings.



**Originally submitted proposals – Front elevation which included insertion of front roof dormer and rear elevation that included a three storey rear extension**



**Originally submitted proposals – Side elevation indicating height and scale of rear extension together with changes to roof profile and front dormer**

Following a request for amendments to the scheme the applicant has revised their proposals and the scheme now proposed has been significantly reduced in scale.

The amended proposed extensions whilst still wrapping around the outrigger are now set lower which will enable the original form of the property to be distinguished. This assists in ensuring that the extensions are not unduly prominent and subservient to the original building.

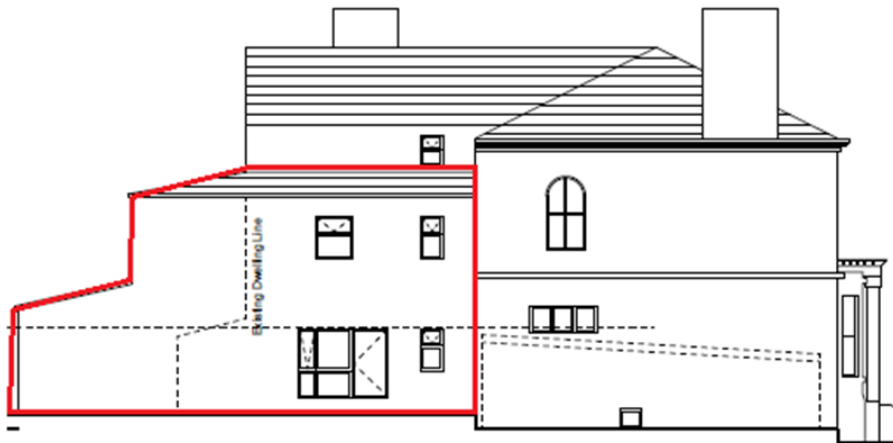
The rear ground floor extension projects 6 metres from the rear wall of the property, and whilst this is longer than that generally considered acceptable of 3.65 metres in saved UDP policy DC1 the application property benefits from a long rear garden which is considered able to accommodate this proposed length of rear extension.

The first-floor element of the rear extension projects 3 metres from the rear wall of the existing outrigger and is within the limit of 3.65 metres set down in Unitary Development Plan policy DC1 and is not considered excessive.

On balance it is considered that this is a large property set in a substantial garden and the proposed development as amended would be subservient to the original property as required by saved Unitary Development Plan policy DC1. It is therefore considered that the scale of the extension is acceptable.

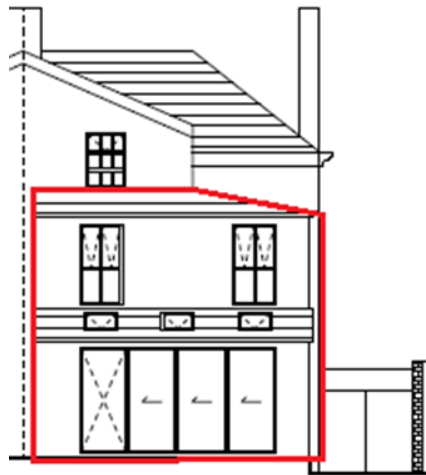
#### Design

The building the subject of this application is not a Listed Building and is not located within a conservation area, it is however, a distinctive building. As submitted the proposed extension completely enveloped the existing outrigger and created a second floor across the whole of the buildings footprint through a hip to gable conversion, the installation of a front dormer and a substantial rear second floor extension.



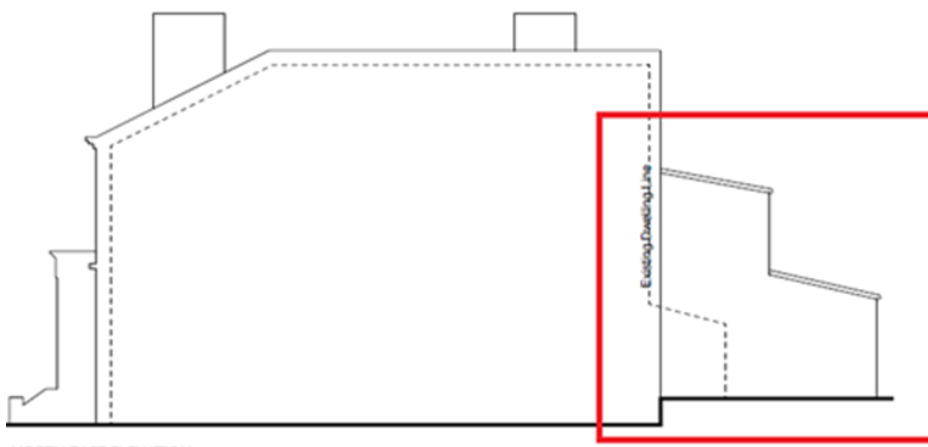
SOUTH WEST ELEVATION

**Proposed side elevation with extension highlighted red**



NORTH WEST ELEVATION

**Proposed rear elevation with extension highlighted red**



**Proposed side elevation as viewed from 11 Norman Road – The rear extension is highlighted within the red box**



The proposed extensions have been significantly reduced in scale and the alterations to the roof removed from the proposals. The proposed extension is now subservient to the host property and windows are of a proportion that reflect the original design of the building. On balance it is considered that the design of the proposed extension is acceptable and given the amendments to its scale together with their location at the rear this would not cause harm to disrupt the overall distinctiveness of the property.

#### Refuse storage

The proposed development would not impact on the current arrangements for the storage of refuse which is located within the substantial garage.

#### Parking

The application does not contain any provisions that will change the existing parking arrangements, although the Design and Access Statement states that there is a spacious front garden that could be used for parking. The loss of the front garden is clearly of concern and depending upon the scope and design of any future works proposed in this respect, these may not be permitted development and would require a separate planning application. The proposals subject of this application do not propose changes to the parking arrangements at the property which currently contains a front drive approximately 13 metres in length together with area of hardstanding to the front of the property all of which are available for off street car parking provision. This level of provision is considered acceptable for this dwellinghouse.

#### Trees

It is not considered that the proposed extensions would impact on the protected trees located within the garden area of number 7 Norman Road. These trees are separated from the common boundary by the width of the drive and the areas proposed for the siting of the extensions are currently covered in concrete hardstanding. However, it is considered prudent that a condition is attached to any approval for the preparation of an Arboricultural Method Statement prior to works started including the removal of the existing hardstanding to ensure works proceed without damaging the adjacent trees and the roots.

#### Residential Amenity

Any alterations to a property can impact on the amenity of the occupiers of adjoining and adjacent properties. It is the role of the planning system to assess if the impacts are so significant as to warrant the refusal of planning permission.

The proposed side extension would be approximately 2.3 metres from the boundary with 7 Norman Road and it is considered that as the extension is on the side of the outrigger, which is taller, it would not have an overbearing impact. The rear extension which would be level with the side elevation of 7 Norman Road would be 2.3 metres from the boundary with that property and 8.3 metres from the side elevation. As the proposed extension is on the north face of the property any

overshadowing would only be likely to occur early in the morning however, due to the space between the properties this impact is not considered to be significant.

The impact of the proposed rear extension on the adjoining property, 11 Norman Road, could potentially be greater, however, there is a small lean to adjacent to the boundary, which projects approximately 1.5 metres, this lean to already serves to screen the opening in the rear elevation of the ground floor of the outrigger of 11 Norman Road from the proposed extension. The ground floor extension projects approximately 6 metre which is what would be allowed for single storey rear extension under the prior approval Larger Homes extensions provisions. At eaves level the extension would be 2.8 metres high increasing to 3.4 metres where it adjoins the second floor of the extension, again these dimensions would be in line with the provisions allowed for under the prior approval route for larger homes extensions.

The eaves of the first floor extension would be 5.8 metres above ground level and the highest part of the roof 6.2 metres. The first floor element of the extension has a modest rearward projection of 3 metres, and would be approximately 1.5 metres from the first floor rear window in the adjoining property. It is considered that any overbearing impact that this element of the extension could have, would be reduced by the distance of the openings from the proposed extension and the orientation of the rear of the property, which is north facing. On balance it is considered that the proposed extensions would not have a significant overbearing impact on the adjacent properties.



**Rear view of the two storey outriggers at numbers 9 and 11 Norman Road, the rear windows of number 11 are identified edged red**



**Propose site setting out drawing showing the relationship of the proposed extensions to number 11 Normand Road**

In the proposed extension the principle windows are located in the rear elevation of the property. These windows face down the rear garden towards the rear garden of a house on Hall Road, there would also be oblique views across the rear gardens of the properties to either side. From the first-floor windows of the proposed extension the distance from the windows to the end of the garden would be reduced to approximately 17 metres. Such views down a garden are not an unusual situation and in view of the size of the adjacent gardens and the distances involved it is not considered that there would be any significant overlooking or loss of privacy in respect of the rear windows from the proposed extension. .

In the side elevation of the first floor of the extension it is proposed to install two windows, that would serve a bathroom and en-suite. These windows would be obscure glazed, and a condition is proposed should consent be granted to ensure that this remains the case. There is also a door and secondary window to the open plan living area at ground floor. This is a secondary window and facing the front garden of 7 Norman Road and would be replacing the existing bay window and would be screened from that property by a high boundary wall. As such it is considered that there would be no significant overlooking or loss of privacy from the windows in the side elevation onto the occupiers of number 7 Norman Road.



**Existing bay window to the side of rear outrigger and view of boundary wall with no. 7 Norman Road**

On balance it is considered that the proposed development would not have such a significant impact on residential amenity that would warrant refusal of the amended proposals.

#### Character of the Area.

In the revised scheme the principle elevation of the property when viewed from Norman Road would remain unchanged. However, due to the unusual setback of the adjacent property the side elevation of the property is more visible when heading east along Norman Road, although it is noted that the boundary trees within the garden of number 7 Norman Road do provide some screening. Having reduced the scale of the proposed extension on the side elevation, it is considered that any visual impact would be significantly reduced. The presence of trees on the boundary would also serve to further soften the impact of the extension.



**View from Norman Road looking across front of 7 Norman Road towards side elevation of 9 Norman Road highlighted in red**

There would be some views through to the proposed extension from Hall Road between the gap of existing houses, such views of the extension would be limited due to the existing outrigger of the neighbouring property and would be over a distance of approximately 30 metres.



**View from Hall Road towards application site. Outrigger edged red is that of number 11 Norman Road.**

Given the siting of the proposed extension to the rear together with the use of materials to match the existing it is not considered that the proposed extension would have a significant impact on the character of the area.

#### Use as a House in Multiple Occupation

Concern has been expressed by a ward member and local residents that the property would be so large that it would only find use as a House in Multiple Occupation. The applicant has indicated that the extensions are required in order to create a multi-generational home for his family and therefore the application is to be determined on that basis. Should at some point in the future there be a desire to change the use of the property to a House in Multiple Occupation then this would require planning permission, either as a consequence of the Article 4 Direction in place in Manchester which removes permitted development rights to change from a dwellinghouse to a small HMO of between 3 and 6 unrelated occupiers; or if there are more than 6 unrelated occupiers as a sui generis House in Multiple Occupation. As such it would be at that point that consideration of an HMO use would be considered against the adopted planning policies in place regarding such uses.

In this instance given the confirmation from the applicant that the property is to be occupied by a multi-generation family it is proposed to add an appropriate condition restriction the use to a Class C3 dwelling should permission be granted.

#### Flood Risk.

The application property is not located in Flood Zones 2 or 3 and therefore no further information is required in respect of these matters in this instance. It is noted that the areas where the proposed extensions are to be sited are generally already hardstanding. It is not considered that the proposals would increase the risk of flooding.

#### 45 Degree Rule

This is used by some authorities to determine what is an acceptable rearward projection for an extension. This measure is not embedded into any adopted planning policies within Manchester. As with each application they are considered on their own merits having regards to the particular circumstances of each site. In this instance, as indicated within the previous sections of this report the proposals are not considered to give rise to unacceptable impacts on residential amenity of neighbouring properties.

#### Conclusion

This application seeks to enlarge a property in order to create a multi-generational home, following amendments to the scheme the best architectural features of this unlisted building, not located within a conservation area have been retained. The amended proposals are considered to have been sited and designed to minimise impacts on residential amenity and the visual amenity and character of the area. On balance it is considered that the extensions are of a scale and design that is acceptable and that the development accords with Council policies.

**Human Rights Act 1998 considerations** – This application needs to be considered against the provisions of the Human Rights Act 1998. Under Article 6, the applicants (and those third parties, including local residents, who have made representations) have the right to a fair hearing and to this end the Committee must give full consideration to their comments.

Protocol 1 Article 1, and Article 8 where appropriate, confer(s) a right of respect for a person's home, other land and business assets. In taking account of all material considerations, including Council policy as set out in the Core Strategy and saved policies of the Unitary Development Plan, the Director of Planning, Building Control & Licensing has concluded that some rights conferred by these articles on the applicant(s)/objector(s)/resident(s) and other occupiers and owners of nearby land that might be affected may be interfered with but that that interference is in accordance with the law and justified by being in the public interest and on the basis of the planning merits of the development proposal. She believes that any restriction on these rights posed by the approval of the application is proportionate to the wider benefits of approval and that such a decision falls within the margin of discretion afforded to the Council under the Town and Country Planning Acts.

**Recommendation      APPROVE**

#### **Article 35 Declaration**

Officers have worked with the applicant in a positive and proactive manner based on seeking solutions to issues arising from the consideration of this application. In this instance issues were raised with regards to the design and scope of proposed extensions to the property and amended proposals were provided.

#### **Conditions to be attached to the decision**

1) The development must be begun not later than the expiration of three years beginning with the date of this permission.

Reason - Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

2) The development hereby approved shall be carried out in accordance with the following drawings and documents:  
9NORPPRR rev 13 received 8 March 2021

Reason - To ensure that the development is carried out in accordance with the approved plans. Pursuant to policies SP1 and DM1 of the Core Strategy.

3) No development, including the breaking of any hard surfacing, shall commence until an Arboricultural Method Statement for construction works for the site has been submitted and approved in writing by the City Council as local planning authority. The submitted statement shall considered the potential for roots of protected roots to be present on the site and appropriate methods for working and construction to avoid

any damage to any roots that may be present. The development shall be subsequently be undertaken in accordance with the agreed statement.

Reason – In order avoid damage to trees subject to Tree Preservation Orders adjacent to the site which are of important amenity value to the area and in order to protect the character of the area, in accordance with policies EN9 and EN15 of the Core Strategy.

4) No development that is hereby approved shall progress beyond damp proof course level unless and until samples and specifications of all materials to be used on all external elevations of the development have been submitted to and approved in writing by the City Council as local planning authority.

Reason - To ensure that the appearance of the development is acceptable to the City Council as local planning authority in the interests of the visual amenity of the area within which the site is located, as specified in policies SP1 and DM1 of the Core Strategy.

5) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 as amended by The Town and Country Planning (General Permitted Development) (Amendment) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification) no part of the premises shall be used for any other purpose (including any other purpose in Class C3 of the Schedule to the Town and Country Planning (Use Classes) Order 1987 as amended by The Town and Country Planning (Use Classes) (Amendment) (England) Order 2010, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification) other than the purpose(s) of C3(a). For the avoidance of doubt, this does not preclude two unrelated people sharing a property.

Reason - In the interests of residential amenity, to safeguard the character of the area and to maintain the sustainability of the local community through provision of accommodation that is suitable for people living as families pursuant to policies DM1 and H11 of the Core Strategy for Manchester and the guidance contained within the National Planning Policy Framework.

6) Before first occupation of the extensions hereby approved the windows in the side elevation, excluding the door and adjoining window, shall be obscure glazed to a specification of no less than level 5 of the Pilkington Glass Scale or such other alternative equivalent and shall remain so in perpetuity.

Reason - To protect the amenity and living conditions of adjacent residential property from overlooking or perceived overlooking and in accordance with policies SP1 and DM1 of the Core Strategy.

7) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) (or any order revoking and re-enacting that Order with or without modification) windows other than those shown on the approval drawings shall be installed in the side elevation of the extension hereby approved.



Reason - To protect the amenity of the occupiers of the adjoining properties pursuant to Core Strategy policy DM1.

**Local Government (Access to Information) Act 1985**

The documents referred to in the course of this report are either contained in the file(s) relating to application ref: 126927/FH/2020 held by planning or are City Council planning policies, the Unitary Development Plan for the City of Manchester, national planning guidance documents, or relevant decisions on other applications or appeals, copies of which are held by the Planning Division.

**The following residents, businesses and other third parties in the area were consulted/notified on the application:**

**A map showing the neighbours notified of the application is attached at the end of the report.**

**Representations were received from the following third parties:**

<b>Relevant Contact Officer :</b>	Dave Morris
<b>Telephone number :</b>	0161 600 7924
<b>Email :</b>	dave.morris@manchester.gov.uk



<b>Application Number</b>	<b>Date of Appln</b>	<b>Committee Date</b>	<b>Ward</b>
128936/FH/2020	21st Dec 2020	15 <sup>th</sup> April 2021	Chorlton Ward

**Proposal**   Erection of a single storey rear extension and first floor front extension to form additional living accommodation

**Location**   25 Hampton Road, Manchester, M21 9LA

**Applicant**   Mr and Mrs Caproli, 25 Hampton Road, Manchester, M21 9LA

**Agent**       Other Brighter Architecture and Building, Brighter Architecture and Building Ltd, 21 Hewlett Road, Manchester, M21 9WB

### **Executive Summary**

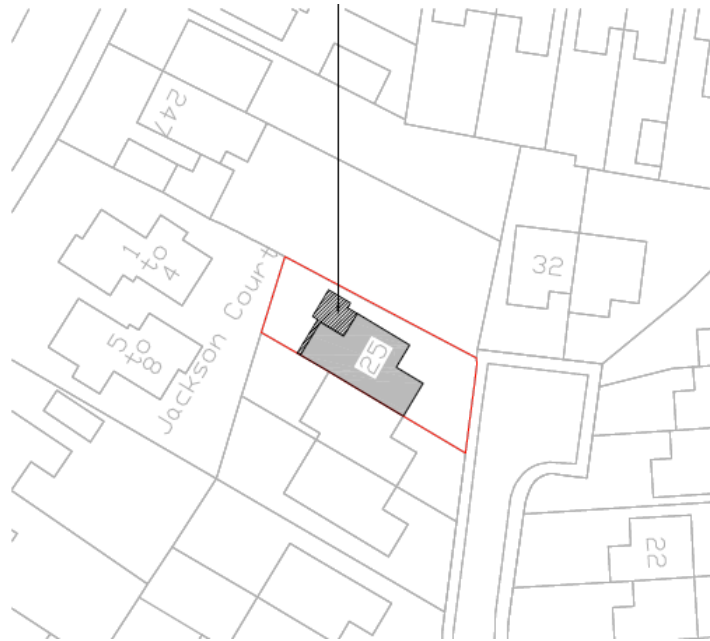
The applicant is seeking permission to extend the existing single storey rear extension and to build a first-floor front extension over the original integral garage, to provide additional living accommodation for a family dwellinghouse. The property is not listed, nor located within a conservation area.

18 neighbouring dwellings were notified of the proposed development and two letters of objection were received, from a single local resident. The main issues related to overshadowing, overlooking, concerns relating to the party wall and to construction. As a result of this, the proposal has been amended since it was originally submitted, to remove a source of potential overlooking, by way of obscuring a side-facing window at first floor.

This application is brought before the committee due to the applicant's position as an employee of Manchester City Council and their application receiving an objection.

### **Description**

The application site is located at the end of a residential cul-de-sac, comprising of 4 rows of terraces and two pairs of semi-detached properties. Hampton Road is located off Hewlett Road within the Chorlton ward and benefits from its proximity to both Turn Moss Playing Fields and Longford Park, the District Centre, Chorlton metrolink station and the bus routes along Wilbraham Road/Edge Lane and Manchester Road/Barlow Moor Road.



**Submitted site plan**



**2D satellite image of the site**



**3D satellite image of the site**

The application relates to a two storey end-terrace C3 dwellinghouse, constructed of mixed brindle brickwork, with a gable roof of interlocking concrete roof tiles, white uPVC windows, brown hanging tiles to the front elevation at first floor and white render at ground floor. The property has an original single storey front projection forming a garage and has a single storey extension to the rear, built under permitted development. The roof features solar panels. The plot, which faces south-east at the front and north-west at the rear, includes a driveway and an area of lawn to the front, a passage down the side to the rear containing two sheds and a rear garden featuring paving and shrubs.



### The submitted existing plans and elevations

The plot measures approximately 25m in length and 10m in width. The front garden is 9m in depth, the rear garden is 10m in depth and the paved driveway is approximately 7.5m long and 3.6m wide. This is an open-plan estate so the front garden and driveway do not feature boundary treatment, however the rear garden is bounded by timber fencing and hedging. The neighbouring plots on Hampton Road are of a similar size and shape, as are the properties themselves.

The applicant is seeking permission to build an additional single storey rear extension and a first floor front extension over the existing garage, which would be converted into living accommodation. The works would provide a larger kitchen/diner and a guest bedroom/study/playroom on the ground floor and a 4<sup>th</sup> bedroom on the first floor.

The single storey rear extension would infill the space adjacent to the existing 2.7m extension, which was built under permitted development, and increase the depth of the previous addition by 0.44m, taking the total enlargement to 3.14m in depth and 8.6m in width, with an eaves height of 2.7m and a maximum height of 3.6m. It would also project slightly past the main side elevation, by 0.7m, with a 2.4m high flat roof over the glazed corner element.

The front extension would be sited over the original integral garage projection, with a depth of 3.26, a width of 4.18m and a setback from the neighbour's principal elevation of 0.38m. The new gable would match the existing eaves and feature a ridge set 1.1m lower than the main ridge, with a pitch to replace the main gable.



The submitted proposed plans and elevations

## Consultations

**Local residents** – Two letters of objection were received from a single local resident. Their comments are summarised below:

### First letter:

- The front proposed extension will impact both light and privacy away for neighbours.
- No.25 will be able to see everything at the front of the neighbouring house as well as hear all conversations, particularly in summer when sitting out the front.
- Neighbouring property already darkened by nearby trees, the extension will overshadow the front and will take away the limited amount of light afforded during the day.
- Concerns over how long the extension would take and when this would start, worried about construction noise.
- The existing window currently overlooking a neighbouring garden is the biggest concern for privacy. When the applicant is stood near the window it is incredibly overbearing and when using the garden this impacts family life, residents should be able to enjoy times as a family in the privacy of their own garden.
- The existing rear extension is already overbearing and impacts upon the residents right to light.

### Second letter:

The main concern is the Party Wall – Have been advised by a Surveyor that the proposed front extension could cause major problems relating to water damage for

neighbouring property if the drainage isn't sufficient - looking at the side profile you can see what he means and this is a major concern.

## **Policies**

### **The Core Strategy Development Plan Document 2012 -2027:**

The "Core Strategy" was adopted by the City Council on 11th July 2012. It is the key document in Manchester's Local Development Framework. The Core Strategy replaces significant elements of the Unitary Development Plan (UDP) as the document that sets out the long term strategic planning policies for Manchester's future development. A number of UDP policies have been saved until replaced by further development plan documents to accompany the Core Strategy. Planning applications in Manchester must be decided in accordance with the Core Strategy, saved UDP policies and other Local Development Documents. Relevant policies in the Core Strategy are detailed below:

**Policy SP1: Spatial Principles** – Development in all parts of the City should make a positive contribution to neighbourhoods of choice including creating well designed places that enhance or create character and protect and enhance the built and natural environment.

**Policy DM1: Development Management** - This policy states that all development should have regard to the following specific issues for which more detailed guidance may be given within a supplementary planning document:-

- Appropriate siting, layout, scale, form, massing, materials and detail.
- Impact on the surrounding areas in terms of the design, scale and appearance of the proposed development. Development should have regard to the character of the surrounding area.
- Effects on amenity, including privacy, light, noise, vibration, air quality, odours, litter, vermin, birds, road safety and traffic generation. This could also include proposals which would be sensitive to existing environmental conditions, such as noise.
- Accessibility: buildings and neighbourhoods fully accessible to disabled people, access to new development by sustainable transport modes.
- Community safety and crime prevention.
- Design for health.
- Adequacy of internal accommodation and external amenity space.
- Refuse storage and collection.
- Vehicular access and car parking.
- Effects relating to biodiversity, landscape, archaeological or built heritage.
- Green Infrastructure including open space, both public and private.
- The use of alternatives to peat-based products in landscaping/gardens within development schemes.
- Flood risk and drainage.
- Existing or proposed hazardous installations.
- Subject to scheme viability, developers will be required to demonstrate that new development incorporates sustainable construction techniques

### **Unitary Development Plan for the City of Manchester (1995):**



The Unitary Development Plan for the City of Manchester was adopted in 1995 and has largely been replaced with the policies contained within the Core Strategy. However, there are a number of policies that are extant and are relevant to consideration to the proposed extension to a residential dwellinghouse.

**Policy DC1** of the Unitary Development Plan seeks to accommodate the demand for more living space, while at the same time ensuring that the amenities of neighbours are protected, and that the overall character of the surrounding area is not harmed. It relates specifically to residential extensions and the relevant criteria from this policy include:

**DC1.1** The Council will have regard to:

- a. The general character of the property
- b. The effect upon the amenity of neighbouring occupiers
- c. The overall appearance of the proposal in the street scene;
- d. The effect of the loss of any on-site car-parking

**DC1.2** states extensions will be allowed subject to:

- a. They are not excessively large or bulky (for example, resulting in structures which are not subservient to original houses or project out too far in front of the original buildings)
- b. They do not create a loss of sunlight/daylight or privacy
- c. They are not out of character with the style of development in the area
- d. They would not result in the loss of off-street parking Policy

**DC1.3** states that Notwithstanding the generality of the above policies, the Council will not normally approve:

- a. rearward extensions greater than 3.65m (12 ft) in length;
- b. 2-storey extensions with a flat roof, particularly those which would be visible from the public highway;
- c. 2-storey extensions to terraced properties which occupy the full width of the house;
- d. flat roofed extensions to bungalows;
- e. extensions which conflict with the Council's guidelines on privacy distances (which are published as supplementary guidance).

**DC1.4** In considering proposals for 2-storey side extensions, the Council will have regard to the general guidance above and also to supplementary guidance to be issued. In particular, the Council will seek to ensure that:

- a. the development potential of the gap between detached and semi-detached houses is capable of being shared equally by the owners or occupiers of the two properties concerned;
- b. the actual or potential result of building the extension will not be the creation of a terracing effect, where this would be unsympathetic to the character of the street as a whole;
- c. the actual or potential result of building the extension will not be the creation of a very narrow gap between the properties, or any other unsatisfactory visual relationships between elements of the buildings involved.

As a guide, and without prejudice to the generality of this policy, the Council will normally permit 2-storey house extensions which, when built, would leave a minimum of 1.52m (5 ft) between the side wall and the common boundary, and

which meet the other requirements of this policy. Proposals which cannot meet these requirements will be judged on their merits, but with weight being given to (a) and (c) above.

**DC1.5** The Council will consider on their merits exemptions to the above policies in the case of applications from disabled people who may require adaptations to their homes.

#### **Guide to Development In Manchester:**

The Guide aims to support and enhance the on-going shaping of the City by providing a set of reasoned principles which will guide developers, designers and residents to the sort of development appropriate to Manchester. It seeks to retain the essential distinctiveness of its character areas, whilst not precluding new development.

#### **National Planning Policy Framework (2019):**

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these should be applied. It provides a framework within which locally prepared plans for housing and other development can be produced. Planning law requires that applications for planning permission be determined in accordance with the development plan, i.e. the Core Strategy Development Plan Document and accompanying policies, unless material considerations indicate otherwise. The NPPF is a material consideration in planning decisions.

Paragraph 11 states that plans and decisions should apply a presumption in favour of sustainable development which for decision-taking this means:

- approving development proposals that accord with an up-to-date development plan without delay; or
- where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
  - i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
  - ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

#### **Issues**

**Principle** – The principle of building a single storey rear extension and first floor front extension to provide additional living space for a family dwellinghouse is acceptable, however consideration must be given to the proposals siting, scale and massing, appearance and impact upon existing levels of residential and visual amenity. Please note, this application is being reported to Committee due to the fact that the applicant is an employee of the City Council.



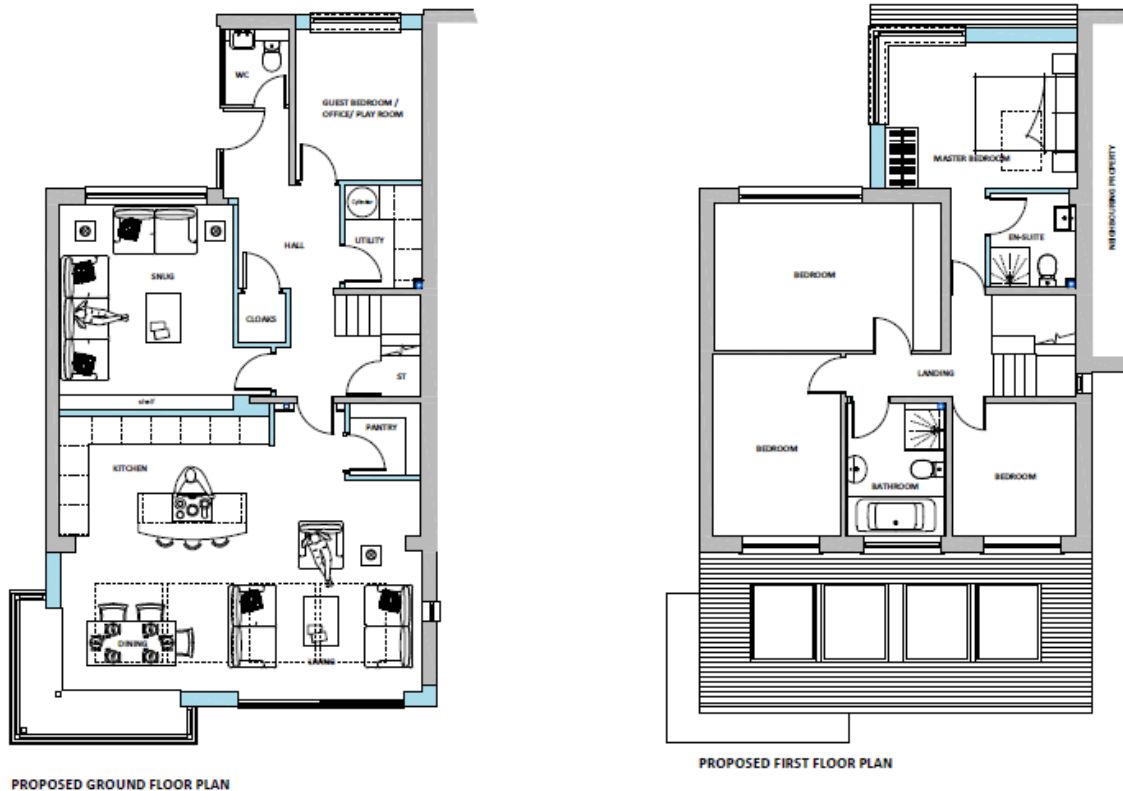
**Front view of No's 23 and 25 Hampton Road**



**Front view of No.25 Hampton Road**

**Siting, scale and massing** – The single storey rear extension would be sited on the northern corner of the property, to infill the space adjacent to the existing 2.7m extension, which was built under permitted development. It would also increase the rearward projection of the previous addition by 0.44m, taking the total enlargement to 3.14m in depth along the boundary shared with the adjoining property No.23 and 3.85m near the boundary shared with the garden of No.247 Ryebank Road. It would measure 8.6m in width, with an eaves height of 2.7m and a maximum height of

3.6m. It would also project slightly past the main side elevation, by 0.7m, with a 2.4m high flat roof over the glazed corner element. The front extension would be sited over the original integral garage projection, facing south-east, with a depth of 3.26, a width of 4.18m and a setback from the neighbour's principal elevation of 0.38m. The new gable would match the existing eaves and feature a ridge set 1.1m lower than the main ridge, with a pitch to replace the main gable. Neither element of the proposal projects far beyond the existing footprint of the property. Although the rear element exceeds the projection stipulated within policy DC1 of 3.65m, it is only by 20cm on the side of the property furthest from the party wall, which is considered acceptable given a larger extension could be built under permitted development via the larger homes extension scheme. The front extension does not extend beyond the footprint of the original garage below and is set back from the principal elevation of the adjoining property, which is sited forwards of the application site due to the nature of these stepped terraces. This element is also significantly lower than the main roof and is therefore considered subservient to the host dwellinghouse, in accordance with residential development policies DM1 of the Core Strategy and DC1 of the UDP.



### Submitted proposed floorplans

**Design, appearance and visual amenity** – The property is not located within a conservation area, nor is it listed a listed building. The estate in which it sits is relatively uniform in appearance. Some properties have additions, such as single storey rear extensions and conservatories at 5 properties, a two storey rear extension at No.21 approved in 2015 (109990/FH/2015/S1), a rear box dormer at No.14 built under PD and a first floor front extension approved in 2008 but not implemented (087509/FH/2008/S1) and a first floor and single storey front extension at No.12 approved in 1994 (044580/FO/SOUTH2/93).



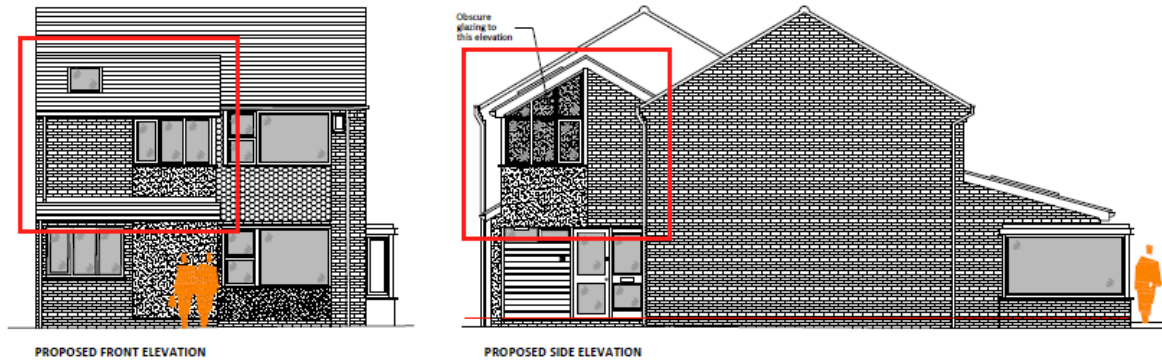
**StreetView image of No's 14 and 12 Hampton Road**



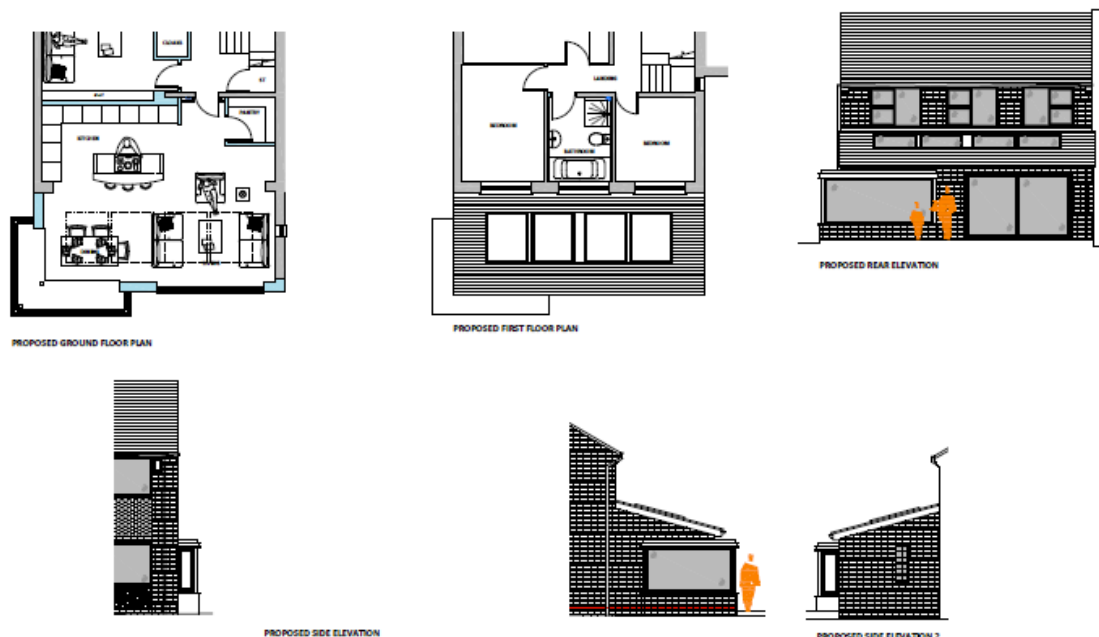
**Rear view of No.25 Hampton Road**

Both extensions would be constructed from materials to match the existing house, including mixed brindle brickwork and concrete interlocking roof tiles, with an area of white render at the front, to help it assimilate with the original building. The roof of the rear extension would be pitched to match existing, containing 2 more rooflights, with a glazed conservatory style projection at the corner with a flat roof. The front extension would be pitched to match existing also and set down 1.1m from the main ridge, with an area of render and glazing wrapping round the eastern corner, obscurely glazed at the side and regular at the front, with one small rooflight in the front slope. Due to the location of the property at the end of the ul-de-sac and on a

corner plot, the proposal would not be readily visible from the public highway until towards the northern end of the estate and due to the materials proposed and design which is considered in-keeping with the character of the estate, it should adequately blend in with the original property and not form an obtrusive feature within the street scene, hence the visual amenity of the house and area are not considered to be significantly harmed by these works, pursuant to policies DM1 and SP1 of the Core Strategy.



**Submitted proposed elevations showing the first floor front extension outlined in red**



**Submitted proposed elevations showing the single storey rear extension**

**Residential amenity and objections** – Both the rear and front extensions, by way of their siting, orientation and scale, are not considered to significantly affect the levels of residential amenity currently enjoyed by the surrounding occupiers. The adjoining neighbour, No.23, is sited forwards of the application site due to the stepped building line of this staggered terrace, meaning at the front the single storey original garage of No.25 adjoins the two storey side elevation of the main house at No.23 and similarly at the rear the two storey side elevation of No.25 lies adjacent to No.23's garden. The proposed front extension over the garage would be setback

from No.23's principal elevation by 0.38m, whilst being sited north of this neighbour, hence the front extension will not overshadow No.23's windows or front garden. At the rear, the increased projection along the boundary by 0.44m, from 2.7m to 3.14m, is relatively minor (only 14cm beyond permitted development) and would not be so detrimental to occupiers so as to warrant refusal, particularly given the roof design, overall height and orientation north of No.23. The neighbouring plot to the north is the large rear garden belonging to No.247 Ryebank Road, which features established hedging along its perimeter. The proposed rear extension is to be sited 1.2m from this boundary, with an eaves height of 2.4m, this is not considered to cause undue overshadowing of this garden.

The front extension originally featured clear glazing to both elevations of its corner window, which was deemed to provide views over the front elevation and front garden of No.32 Hampton Road as well as over the rear garden of No.247 Ryebank Road, which is very private as existing, therefore negotiations took place with the agent to either remove or obscure this side-facing window. They chose to obscure the glass, which is considered to address the issue and this has been conditioned as part of the approval. A local resident objected on the grounds of a loss of privacy to their front garden due to the front facing window within the front extension, however it has been assessed and due to the setback and the distance of the window from the boundaries of the plot, 2.33m to the party wall shared with No.23 and 7.6m to the boundary of No.32 – both at oblique angles, the glazing within the front elevation of the front extension would not cause unacceptable overlooking of the neighbouring plots on Hampton Road. Therefore, on balance, the revised proposal is not considered to cause undue harm to local residents by way of overshadowing, overlooking or overbearing impacts, in accordance with policies DM1 and SP1 of the Core Strategy and DC1 of the UDP.

Other issues raised within the two letters of objection from a local resident include concerns over the party wall during construction, when the construction would start and for how long it would last, as well as concerns over an existing window within the rear extension built under Permitted Development over 4 years ago. The first point, regarding the party wall and possible future drainage issues, is a civil matter between the neighbour and the applicant, the latter of which signed ownership certificate A and has confirmed that all works will take place within their curtilage. In addition, the construction of this element and any potential drainage issues would be inspected by Building Control. For the second point, regarding construction, the 3 year time limit condition has been attached to this approval but for how long the works would be on-going is out of the control of this planning permission and its conditions. Before work on the party wall starts notice would need to be served upon the neighbours in accordance with the Party Wall Act, a copy of which was sent to the objector and the agent. The window in the existing rear extension, facing into the garden at No.23, has been in situ for over 4 years and therefore has deemed consent and does not form part of this application.

**Parking and refuse** – Although the rear extension would project beyond the side elevation slightly, a gap of 1.2m would be retained to the side boundary, allowing the refuse bins to be transported from the front for collection to the rear for storage, out of sight, as existing. Although the garage would be lost in the conversion to habitable living space, the provision of off-street parking would remain acceptable for a single

family dwelling, with space for 1 no car on the retained driveway at the front of the plot. Hence the storage of refuse and provision of off-street parking accord with policy DM1 of the Core Strategy.

**Conclusion** – The proposal received two objections from a local resident in relation to privacy, light and party wall issues, however the revised proposal has been assessed as not causing undue harm to the objector. The proposal complies with policies DM1 and SP1 of the Core Strategy, policy DC1 of the Unitary Development Plan and aligns with the advice given within the National Planning Policy Framework. It is not thought to significantly impact upon the existing levels of residential amenity enjoyed by neighbouring occupiers nor significantly harm the visual amenity of the house or wider area, therefore the development is deemed acceptable and may commence in accordance with the submitted drawings and the following conditions.

### **Human Rights Act 1998 considerations**

This application needs to be considered against the provisions of the Human Rights Act 1998. Under Article 6, the applicants (and those third parties, including local residents, who have made representations) have the right to a fair hearing and to this end the Committee must give full consideration to their comments.

Protocol 1 Article 1, and Article 8 where appropriate, confer(s) a right of respect for a person's home, other land and business assets. In taking account of all material considerations, including Council policy as set out in the Core Strategy and saved policies of the Unitary Development Plan, the Director of Planning, Building Control & Licensing has concluded that some rights conferred by these articles on the applicant(s)/objector(s)/resident(s) and other occupiers and owners of nearby land that might be affected may be interfered with but that that interference is in accordance with the law and justified by being in the public interest and on the basis of the planning merits of the development proposal. She believes that any restriction on these rights posed by the approval of the application is proportionate to the wider benefits of approval and that such a decision falls within the margin of discretion afforded to the Council under the Town and Country Planning Acts.

**Recommendation      APPROVE**

### **Article 35 Declaration**

Officers have worked with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application. Issues have arisen during the consideration of this application and the officer negotiated with the applicant/agent to reach a satisfactory resolution.

### **Conditions to be attached to the decision**

1) The development must be begun not later than the expiration of three years beginning with the date of this permission.

Reason - Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.



2) The development hereby approved shall be carried out in accordance with the revised drawing numbered '04 A', stamped as received by the City Council as Local Planning Authority with the application form on the 24th February 2021.

Reason - To ensure the development is carried out in accordance with the approved plans, pursuant to Policies SP1 and DM1 of the Core Strategy.

3) The materials to be used on the external surfaces of the extensions hereby permitted shall match those specified on the submitted application form.

Reason - To ensure the appearance of the building to be extended is not adversely affected by the materials to be used in the construction of the extension, pursuant to saved policies DC1.1, DC1.2 and DC1.4 of the Unitary Development Plan for the City of Manchester and policy DM1 of the Manchester Core Strategy.

4) Before first occupation the first-floor window in the side elevation of the front extension shall be obscure glazed to a specification of no less than level 5 of the Pilkington Glass Scale or such other alternative equivalent and shall remain so in perpetuity.

Reason - To protect the amenity and living conditions of adjacent residential property from overlooking or perceived overlooking and in accordance with policies SP1 and DM1 of the Core Strategy.

#### **Local Government (Access to Information) Act 1985**

The documents referred to in the course of this report are either contained in the file(s) relating to application ref: 128936/FH/2020 held by planning or are City Council planning policies, the Unitary Development Plan for the City of Manchester, national planning guidance documents, or relevant decisions on other applications or appeals, copies of which are held by the Planning Division.

#### **The following residents, businesses and other third parties in the area were consulted/notified on the application:**

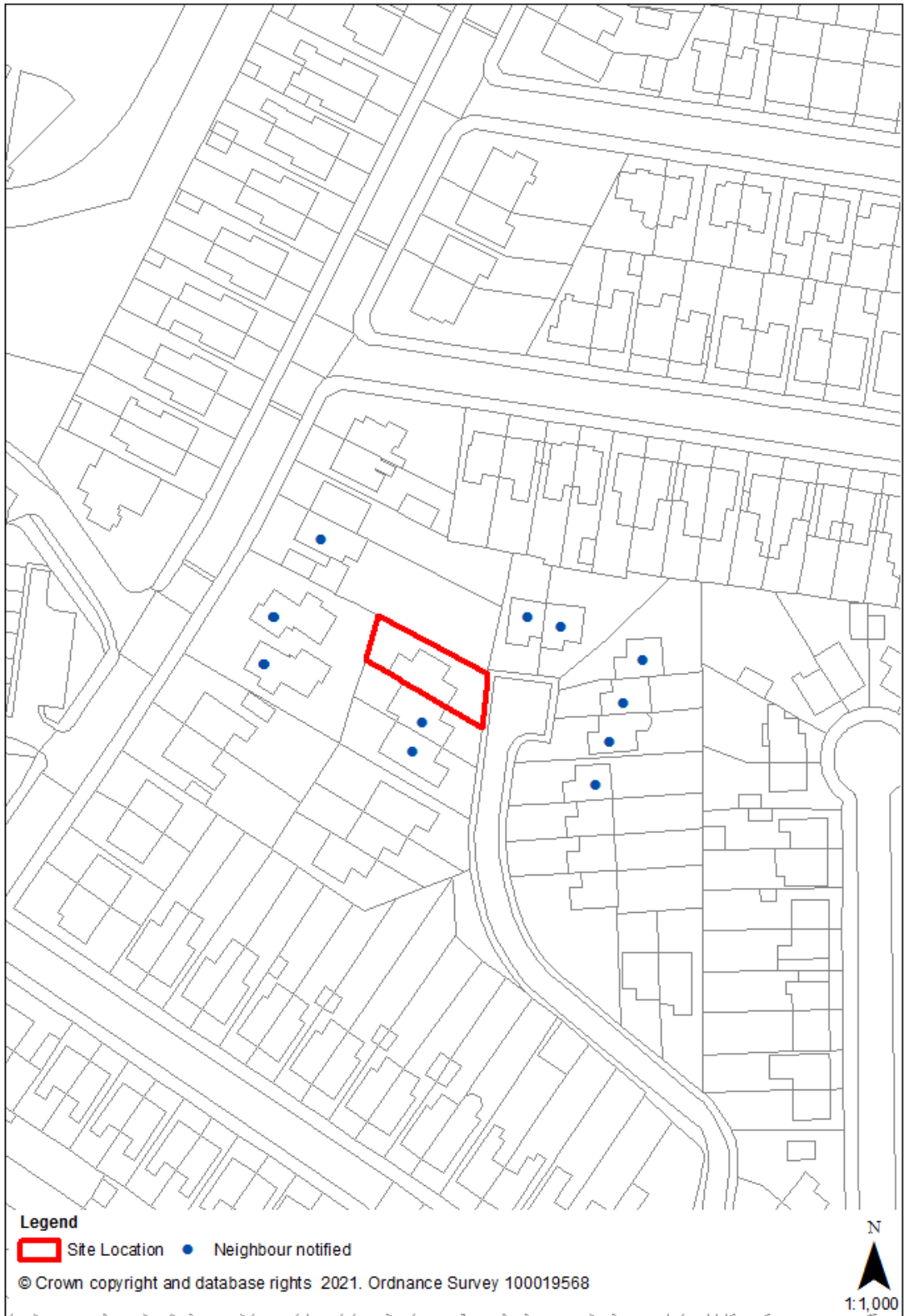
32 Hampton Road, Manchester, M21 9LA  
 28 Hampton Road, Manchester, M21 9LA  
 24 Hampton Road, Manchester, M21 9LA  
 Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 8, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 7, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 6, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 5, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 4, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 3, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 2, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 Flat 1, Jackson Court, 249 Ryebank Road, Manchester, M21 9LX  
 30 Hampton Road, Manchester, M21 9LA  
 26 Hampton Road, Manchester, M21 9LA  
 23 Hampton Road, Manchester, M21 9LA

22 Hampton Road, Manchester, M21 9LA  
21 Hampton Road, Manchester, M21 9LA  
247 Ryebank Road, Manchester, M21 9LX

**A map showing the neighbours notified of the application is attached at the end of the report.**

**Representations were received from the following third parties:**

**Relevant Contact Officer :** Constance Phillips  
**Telephone number :** 0161 234 5792  
**Email :** [constance.phillips@manchester.gov.uk](mailto:constance.phillips@manchester.gov.uk)



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**Manchester City Council  
Report for Resolution**

**Report to** Planning and Highways Committee – 16 APRIL 2021

**Subject:** OBJECTION TO TREE PRESERVATION ORDER  
JK/20/11/2020 – 109 Parsonage Road, Manchester, M20 4WZ

**Report of:** Director of Planning, Building Control and Licensing

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**Purpose of report**

To inform the committee about the background and issues involved in the making of a Tree Preservation Order (TPO) on 20th November 2020 and to recommend this Tree Preservation Order is not confirmed.

**Recommendation**

The Director of Planning, Licensing and Building Control recommends that the Committee determine not to confirm the Tree Preservation Order at 109 Parsonage Road, Manchester M20 4WZ, and that the Committee instructs the City Solicitor to endorse the Tree Preservation Order to that effect.

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**Ward Affected** Withington

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**Financial Consequences for the Revenue Budget /Capital Budget - None**

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**Contact Officer:**

John Kelsey – Planning Officer  
Telephone: 0161 234 4597  
email: john.kelsey@manchester.gov.uk

**Background Documents**

None

## Introduction

The updated position is set out immediately below and the original report also included as background.

This application was placed before the Planning and Highways Committee on the 18th February 2021 and at that meeting the Committee deferred deliberation in order to allow the home owners where the trees are located, to produce any additional evidence or information that they might be able to provide in order to show if any of the individual trees are potentially causing any damage to the house rather than all three trees being potentially responsible. Members also requested that a structural survey submitted by the homeowners to be circulated to Committee Members for information.

Since this Committee the homeowner has sought further clarification from their structural surveyor and a revised report has been submitted. The principal changes in the revised report are clarification in wording.

The original report states, 'The property has suffered from differential foundation movement much of which appears longstanding in nature clearly indicated by the fall to floors, cills and mortar bed joints together with some external cracking. The movement of the main house seems to be downwards towards the rear left hand corner of the property and could possibly be the result of subsidence related to the mature trees to this side of the house.

The revised report states, 'The property has suffered from differential foundation movement much of which appears longstanding in nature clearly indicated by the fall to floors, cills and mortar bed joints together with some external cracking. The movement of the main house seems to be downwards towards the rear left hand corner of the property and is highly likely to be the result of subsidence related to the mature trees to this side of the house.

Original report states, 'The presence of such large trees so close to the property can be problematical to the foundations and below ground drainage particularly where the foundations bear on clay sub-soils which can become desiccated by the extract of moisture by the tree roots'.

Revised report states, 'There are three mature trees to the left of the property within the garden which are all within the zone of influence of the property. The presence of such large trees so close to the property can be problematical to the foundations and below ground drainage particularly where the foundations bear on clay sub-soils which can become desiccated by the extract of moisture by the tree roots'.

An additional structural report by a separate structural engineer has been provided by the homeowner. This report states in the conclusion that '*We consider the main structure of the property has been affected by subsidence due to root induced clay shrinkage tending to the left and rear. With the porch and kitchen bay being affected by early life settlement and ongoing subsidence damage due to root induced clay shrinkage. If the trees are to be removed as recommended that superstructure repairs can be undertaken after the clay subsoil has had a period of time to re-*

*hydrate, following which superstructure repairs can be undertaken to the main load-bearing walls. Due to the shallow nature of the foundations of the porch and kitchen bay window we recommend that these foundations should be underpinned following which superstructure repairs should be undertaken. If the trees are not removed the main loadbearing walls of the property will have to be underpinned, however the cost and disruption of this will be significant. Underpinning will have to be extended to below the influence of the tree roots based on the depths determined by Chapter 4.2- Building Near Trees of the NHBC standards'.*

Members will note that, although the original revised report provides some additional clarity on potential damage caused by the trees to date, it is not completely conclusive. Nevertheless, the report has been prepared by a qualified structural engineer and the Council has no expert evidence available with which to contradict its conclusions. It is also the case that a second report has been received that comes to similar conclusions.

Tree Preservation Orders may be made where it is considered expedient in the interests of amenity to do so. There is no doubt that the three trees in this case are very fine specimens and have a high amenity value, making them worthy of a Tree Preservation Order and it is very regrettable that the Director's recommendation is being revised to ask the Committee not to confirm the Tree Preservation Order.

The decision to revise the recommendation has been reached on the basis that evidence has been produced indicates a high likelihood that the roots of these three large trees have damaged the structure of the house and may continue to do so. There is no evidence available that further damage would not occur. It is therefore considered that it would not be expedient to confirm the Tree Preservation Order, notwithstanding the high amenity value of the trees covered by it.

There is quite a unique set of circumstances in this case with three very large trees in very close proximity to the house. It is on the basis of the evidence now available that the change in recommendation is made. No additional information has been provided to demonstrate that any one or two of the individual trees are potentially causing the damage rather than all three of the trees and therefore the change in recommendation relates to all three trees.

It is also worth noting that there is reference in the structural survey to an intention by the homeowner to apply for planning permission in the future for a side extension where the trees are located. For the sake of clarity, Members should note that a decision to follow the revised recommendation in no way indicates that the principle of an extension in this location is considered to be acceptable. Any application for such an extension will be considered separately and on its own merits.

It is regrettable that on this occasion and on balance given the revised structural surveys that The Director of Planning, Licensing and Building Control recommends that the Committee determine **not to confirm** the Tree Preservation Order at 109 Parsonage Road, Manchester M20 4WZ.

## **Executive Summary**

The committee is asked to consider 12 objections made to this order and 10 representations in support of the TPO. This relates to a Tree Preservation Order (TPO) served at the above address on 2 Copper Beech trees (T1, T2) and a Lime tree (T3) within the front and side garden 109 Parsonage Road, Manchester, M20 4WZ

### Key Issues

TPO worthiness - City Arborist assessed the trees to be of high visual amenity value, making a significant contribution to the street scene and worthy of a TPO.

Impact of trees on house/foundation structure – small out of plane movement present within the main dwellinghouse which may be caused by the trees but is uncommon in Manchester to be the principle cause for this species of trees and type of soil.

Loss of trees – the mature 2 Copper Beech and Lime trees are an important element in street scene and the local urban landscape character and would be a significant loss.

Trees impact on drainage system, boundary walls – any damage can be repaired through relatively minor building repair works being carried out.

A full report is attached below for Members consideration

### **Background**

This property is situated on the north side of Parsonage Road on its junction with Shireoak Road.





*2 mature Copper Beech and Lime on junction of Parsonage Rd and Shireoak Rd*

An initial request was made by a local resident to look at a number of trees in the area. Following a site survey and assessment the City Arborist considered the 3 trees to offer high visual amenity to local residents and the general public, to be in keeping with the street scene and make a very significant contribution to the local area. He noted that the trees have had historic height pruning work carried out on them and this appears to have been done professionally with no negative impact on the tree's health. The City Arborist recommended all 3 trees were worthy of TPO status.

The Copper Beech and Lime trees are approximately 13m in height with an average crown diameter of approximately 7 - 8m. Their large canopies are clearly visible from both short and long range views and to both occupiers of surrounding residential properties as well as public areas, principally from the public highway of Parsonage Lane and Shireoak Rd. The Helliwell System 2008 of visual amenity valuation has been carried out and this assessment found the trees to be of high visual amenity value.

Following the making of a provisional TPO, the homeowner and a further 9 local residents have objected in writing to the confirmation of this TPO and support the felling of the 3 trees. 2 objections have also been received from Councillors Rebecca Moore and Councillor Chris Wills. 10 emails supporting the TPO have been received. Email correspondence has been sent to provide a further explanation of why a provisional TPO has been made on a tree at this property

This report requests that the Committee instruct the City Solicitor to confirm the TPO at 109 Parsonage Road, Manchester, M20 4WZ

## Consultations

Part 2, paragraph 5 of the Town and Country Planning (Tree Preservation) (England) Regulations 2012 states that before a provisional TPO is confirmed, any persons interested in land affected by the order should be served with a copy of the order. Local residents in the vicinity were consulted and objections and representations made with respect to the Order have been considered.

The following owner/residents were served with a copy of the order or notified about the TPO, on 27 November 2020. The Owner(s) and/or any Occupier(s) of 109 Parsonage Road, Manchester, M20 4WZ

## Summary of objections

In summary they state:

- The trees are causing and will continue to cause substantial damage to the foundation and structure of the house and also have caused damage to drain connected to the property. This is supported by a structural survey report and drainage survey.
- Homeowner carried out a local search and the City Council confirmed at the time, there wasn't a TPO on trees at 109 Parsonage Rd; this influenced their decision to purchase the property. The making of the TPO has caused great distress to the family
- Manchester City Council did not make the homeowner aware a TPO was being made on the trees at the property.
- Local residents concerned that the trees are damaging the structure of the property and potentially neighbouring property.
- Trees are dangerous to both the homeowners and their family and to passers by from potentially falling branches and collapsing boundary wall.
- Flagstone(s) lifted within the curtilage of the property causing a young child to trip and injure herself.
- Owner intends to apply for permission to build a side extension in area currently occupied by the trees.

Councillor Moore and Councillor Wills share the concerns of the homeowner and local residents objecting to this TPO and have requested that the TPO is not confirmed.

### Structural Survey Report

Following a home buyers report which found some cracking and movement in the property a structural survey was carried out, The structural investigation report states the property has suffered from some differential foundation movement most significantly to the front porch and single storey side bay due to inadequate foundations and would need underpinning.

The report notes that the house main elevations have had some slight out of plane movement and that the 3 large mature trees in close proximity to the left hand side of the property are causing on-going subsidence and desiccation of the clay subsoils. The report states that there is a risk of ongoing seasonal foundation movement to the property which would be eliminated by underpinning.

If the trees are removed as suggested, the report notes that there is a risk of some damage to the property in the short to medium term as a result of heave as the clay subsoil rehydrate and recover which may require some ongoing repair of cracking from time to time.

In its conclusion the report states that the movement of the main house seems to be downwards towards the rear left hand corner of the property and that this could possibly be the result of subsidence related to the mature trees to this side of the house.

#### Drainage Survey

States there was a large displaced joint after the trap with some root ingress present.

#### **Summary of support**

- The trees are fantastic examples and contribute hugely to the visual impact of the street and also to the wildlife of the area. The temporary TPO is protecting them but the objection would leave them vulnerable to being felled if the TPO is not confirmed.
- The trees are vulnerable to being felled as has happened to many of the mature trees in the area lately.
- Support City Council recent tree planting in the area in particular on Parsonage Road and Burlington road, which will make great improvements in the area. Wish to preserve the efforts of those who did the same some 100 years ago when they planted these now mature trees.
- During lockdown the road has been quiet and nature has returned in the form of many different species of birds. These trees provide a valuable amenity to the area and provide a habitat for urban wildlife and improved air quality. If we are to maintain this calmness and preserve the areas wildlife, the trees need to remain.
- These trees are historic, part of the character of the area and losing them would have a detrimental impact on the neighbourhood.

#### **Arboricultural officer comments**

The City Arborist initial survey found the trees to be of high visual amenity value, making a significant contribution to the street scene and were worthy of a TPO.

The City Arborist provided a further response to the Structural Engineers and Drainage Surveys provided by the homeowner. The City Arborist notes that the report seems to indicate that the main structure of the house is in good condition but has some historical external cracking and increasing the existing foundations by underpinning to NHBC standards should prevent any possibility of future subsidence caused by trees

The City Arborist advises in relation to the key issue that the existing 3 mature trees are causing subsidence damage, both the mature copper beech and lime trees have a 'moderate' water demand. He states that the soil beneath foundation level on this site was found to be in 'low shrinkage' category and in practice, it would be very

uncommon for moderate water demand trees to cause subsidence damage on low shrinkage soils in Manchester.

The City Arborist advises that when subsidence damage occurs it is caused by tree roots drying the soil below foundation level and subsequent shrinkage of the clay soil. The soil shrinks away from the foundations in hot dry weather and rehydrates and swells again over winter. This happens over long periods of time and is always repairable. With its usually mild and damp climate it is not common on the types of soil present in Manchester. They advise that this type of damage is only really determined and recorded by accurate level monitoring / crack monitoring over an 18 month period by a structural engineer.

The City Arborist advises the report conclusion only finds that the trees have the potential to be the cause of foundation movement, with no real proof given, such as longer term monitoring. The City Arborist also notes that a TPO on a tree does not prevent an owner having his trees pruned in the future. It does prevent poor pruning and removal without good reasons.

The Planning Service has sought further advice in relation to the structural engineers report and agree with advice from the City Arborist that low shrinkage soils and medium water demand trees at these distances should not usually present a subsidence issue in Manchester.

From the descriptions and observation in the structural engineer's report, the slight settlements seem more likely to have been long term as a result of shallow foundations on clay soils and typical seasonal changes in the ground. To determine whether there are any movements caused by the proximity of the trees would, as City Arborist advise, need long term monitoring.

## **Issues**

### TPO worthiness

All three trees are mature specimens, are long lived species in good condition and are growing in a highly prominent location easily visible to the public. As such, they have high visual amenity value and meet the criteria to be protected by having a Tree Preservation Order placed on them.

### Damage to the structure/foundations of the property

The structural survey states that there has been some movement in the property and that while it is more significant in the front porch and single storey side bay there is slight out of plane movement in the main property. The proximity of 3 mature may have some influence on the foundations of the property but without longer term monitoring it is not conclusive. The structural survey report advises that underpinning of the property would eliminate any further movement.

### Damage to drains,

Tree roots will seek a water source and where a drain is cracked, some tree roots will seek out this hydrated soil area and enter the drain at this point. Repairing/replacing the damaged drain will in most cases resolve this issue.

Potential danger to boundary walls, lifting of paving flags, falling branches

The red brick dwarf boundary wall which runs along the front and side of the property is approximately 0.5m high. While there are some areas of missing mortar and movement in the wall it is not considered to present a demonstrable danger to the public using the adjacent footpath and any repairs should involve relatively minor building works.

The issue of raised flagstones within the curtilage of the property is a matter of maintenance for the homeowner and if necessary, some minor root pruning works could be agreed with City Council.

Regular maintenance and management of trees, including removal of deadwood will help minimise any falling branches onto the public highway and private garden. The making of a TPO does not prevent any works being carried out to protected trees but does ensure that the City Council can ensure the proposed works are appropriate for the tree.

Homeowner not made aware of a TPO on the trees purchasing the property

The timings of the local searches to establish if there was a TPO at the property were carried out at the same time as the TPO was being processed. The TPO would not show on the City Councils systems until it had been provisionally made by the City Solicitor, which was following the date of the local search and confirmation at the time that there wasn't a TPO made on the trees.

Homeowner not made aware by City Council that a TPO was being made

Before a TPO has been provisionally made it is not common practice for the City Council to contact the landowner. The landowner will be contacted to make them aware a TPO has just been made and that there is a right to raise issues and object.

Proposed future side extension

If the TPO is confirmed this would be a consideration in future negotiations and discussions during the planning application process.

Other issues

The 2 Copper Beech and Lime trees are native to the British Isles and are considered to make a valuable contribution to the City's urban environment. Both Copper Beech and Lime trees provide a biodiverse rich environment and habitat. Their loss would be considered to have a detrimental impact on local biodiversity. These mature trees provide valuable screening benefits and supports improvements in local air quality.

**Conclusion**

It is considered that the 2 Copper Beech (T1, T2) and Lime (T3) trees as shown on the attached plan, should be protected by a Tree Preservation Order. The City Arborist considers the trees to be in good condition, healthy with no major defects. They are of high amenity value, located in a prominent position within the front and side garden, highly visible to occupiers of neighbouring properties, visitors and both passing traffic and pedestrians on Parsonage Road and Shireoak Road in particular.

The trees in question are an important element of the local urban landscape character and its biodiversity.

The homeowners are concerned about these trees and the movement found in their property. While the structural survey would indicate that there is some differential movement, this is more significant in the front porch and side bay window where the structural survey found that there are inadequate foundations. Long term monitoring would help determine whether there is any movement to the property caused by the proximity of the trees.

The Order has been properly made in the interests of securing the contribution these trees make to the public amenity value in the area. The concerns of the homeowner have been fully considered and balanced against the contribution these 2 Copper Beech and Lime tree make to the local environment. Whilst it is acknowledged that the reason for objecting to the TPO, in particular the trees impact on structure of the property, boundary wall and drainage system, and impact on the timing and process of making this TPO, require due consideration it is not felt that they outweigh the significant contribution these prominent trees of high amenity value make to the area and the wider urban landscape. It is considered that the visual public benefits of retaining these trees outweigh any harm caused.

#### **Human Rights Act 1998 considerations**

This Tree Preservation Order needs to be considered against the provisions of the Human Rights Act 1998. Under Article 6, the third parties, including local residents, who have made representations, have the right to a fair hearing and to this end the Committee must give full consideration to their comments. Article 8 and Protocol 1 Article 1 confer(s) a right of respect for a person's home and a right to peaceful enjoyment of one's possessions, which could include a person's home, other land and business assets. In taking account of all material considerations, including Council policy as set out in the Unitary Development Plan, the Head of Planning has concluded that some rights conferred by these Articles on the residents/objectors and other occupiers and owners of nearby land that might be affected may be interfered with but that interference is in accordance with the law and justified by being in the public interest and on the basis of the restriction on these rights posed by confirmation of the Tree Preservation Order is proportionate to the wider benefits of approval and that such a decision falls within the margin of discretion afforded to the Council under the Town and Country Planning Acts.



**Land at 109 Parsonage Road, Withington Tree Preservation Order 2020**

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Our ref: MR- 21-4594  
Your ref:



**Structural Report for:**  
Mr Sean Callaghan

**For:**  
109 Parsonage Road  
Withington  
Manchester  
M20 4WZ



**Date of inspection:** 22<sup>nd</sup> March 2021

**Date of report:** 30<sup>th</sup> March 2021

Ref: 21-4594

Address: 109 Parsonage Rd, Withington, Manchester.

Thank you for your valued instructions to undertake a visual inspection of the aforementioned building with a view to report upon its structural condition.

### **1. Brief.**

To undertake a visual inspection of the building to comment upon the structural condition of the load bearing elements and advise accordingly.

### **2. Type of Report:**

This report is a visual inspection of the main structural elements of the building in question paying particular reference to any structural defects apparent.

### **3. Limitations.**

This report is based upon a visual inspection of the building and limited to the aspects mentioned above and which we consider to be relevant to the stability of the building at the time of our inspection.

Our observations are not meant to be a detailed condition report of the building and only the relevant structural issues are addressed.

Where the property is furnished and occupied, we have not lifted carpets or moved furniture as this is beyond our service. Also, we have not lifted any floor boards to inspect voids beneath unless traps are provided and easily accessible. Where necessary as part of the brief, and where access is available, we will inspect roof voids for structural conditions however depending upon the ceiling heights and ease of access, only a 'head and shoulders' inspection may be possible thus limiting our overall survey. Where we consider further investigations are warranted then we will advise accordingly.

Our inspection is made from ground level and where applicable using a Surveyors ladder. Comments made of roof coverings or chimneys are made from this vantage point and it is the client's responsibility to obtain all necessary specialist reports covering these.

This report does not cover any aspects relating to damp ingress, services, drainage or covered elements. No investigations have been undertaken to determine foundation depths or conditions unless we have included this in our brief and a suitable contractor has attended site with us to ascertain such details.

Our observations are reported as one is standing at the front of the building looking towards the front elevation. Level measurements are reported using a 1000mm spirit level.

This report is for the sole use of the Client as named on the front page. This report must not be re-produced or transferred in part or whole to any third party without our written permission.

#### 4. General details:

The property is a two storey, three-bedroom left hand semi-detached south house constructed in circa the late 1930s.

The property is situated on a site that is reasonably level and the immediate area around the property tends to be of residential usage.

The BGS maps indicate that the underlying superficial deposits comprise Glacial Till, Devensian superficial deposits, with underlying Chester formations sandstone, sedimentary bedrock.

The house is constructed of traditional masonry cavity external walls, masonry loadbearing and non-loadbearing internal walls, with suspended timber ground floor and suspended timber first floor and a hipped tiled roof. The property has a paved drive to the rear with a detached precast concrete garage with an asbestos cement roof on the rear right. The property comprises hallway and stairs on the front left with lounge on the front right, dining room on the rear right and kitchen on the rear left. At first floor the bathroom is situated on the front left corner over the entrance and stairs with two main bedrooms on the right and a box bedroom over the kitchen.

There are three mature trees within the boundaries of the property, we have a Lime tree on the front right approximately 16m to 17m high and 5m from the front left corner of the porch, with 2 further mature copper beech trees approximately 12m to 14m high situated 4.2m from the left flank wall and 5m from the rear left corner.

#### 5. Observations:

##### 1. External Observations

###### i. Front Elevation

The front elevation brickwork is reasonably level and plumb with a slight level distortion across the bay window in the order of 2mm to 3mm tending towards the left. The brickwork around the porch is reasonably level. There are some fine cracks vertical cracks between the bay window brickwork and main front wall varying from 1mm to 3mm on the right-hand side and 2mm to 5mm on the left and side. These cracks are weathered and have probably been present for a number of years. There is a slight distortion to the porch tending to the left in the order of 2mm to 3mm and an old weathered vertical crack between the right wall of the porch and main front wall varying from 1mm to 5mm wide, this crack is weathered and appears to be old in nature. There are no cracks over the porch roof/ front door and the bathroom window over.





The front roof slope appears to be in a satisfactory condition with no significant distortions. The chimney is in a satisfactory condition however we noted some defective and weathered pointing. The flashings around the chimney appear to be in a serviceable condition.

ii. Side Elevation (left)

The left elevation is reasonably level, however, we noted an outward distortion/ bulging in the order of 3mm to 5mm. The kitchen bay window brickwork slopes to the left by between 2mm and 5mm. There is a vertical crack on the rear side of the kitchen bay window varying from 2mm to 4mm wide this crack has been pointed in the past and there is some movement of recent nature across the repairs. There is a diagonal stepped crack below the landing windows varying from 1mm to 4mm in width. The small cloakroom window has a timber external lintel which is suffering from timber decay and there is a fine 1mm to 2mm crack over the lintel.



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Address: 109 Parsonage Rd, Withington, Manchester.

The left roof slope appears to be in a satisfactory condition with only a slight natural distortion/ dishing of the roof slope.

iii. Rear Elevation

The rear elevation is reasonably level with a slight distortion noted below the dining room window in the order of 2mm to 3mm. We observed two stepped cracks over the dining room window, the left crack varies in width between 2mm to 3mm wide and extends up to the bedroom window over, while the right crack is hairline to 1mm wide. The timber external lintel over the dining room window appears to have a slight deflection. There are two further vertical and diagonal stepped cracks below the dining room window varying from hairline to 1mm wide. There is diagonal stepped crack below the box bedroom window and rear right bedroom window, varying from 1mm to 2mm wide.





The rear roof slope appears to be in a satisfactory condition with a slight natural dishing of the roof slope. The chimney is in a satisfactory condition and the flashings around the chimney appear to be in a serviceable condition. There is some vegetation growth from the top of the chimney.

## 2. Internal Observations

### i. Hallway and cloakroom

The floor within the hall is reasonably level however there is a distortion in the order of 2mm to 3mm in front of the cloakroom tending to the left and we observed no significant cracking or damage to the walls and ceilings in this area.

There is vertical crack varying from 1mm to 2mm over the cloakroom window.



### ii. Ground floor –lounge (front right)

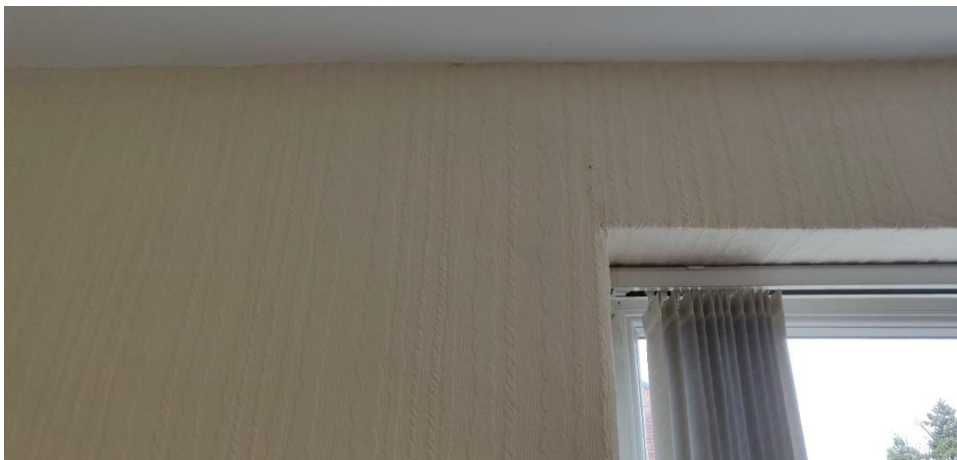
The floor in the lounge is reasonably level with no significant distortions to the walls. There are no significant cracks on the walls and ceiling in this room, however, we noted some rucking of the decoration below the bay window.

### iii. Dining room (rear right)

The floor in the dining room is reasonably level with a slight distortion tending to the left in the order of 2mm to 3mm. There is rucking of the decoration over the top left of the dining room window with further repairs to the bottom left of the window. We observed no significant cracking or damage to the ceilings in this room.

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Address: 109 Parsonage Rd, Withington, Manchester.



iv. Kitchen (rear left)

The floor in the kitchen has a slight distortion tending to the rear and left in the order of 1mm to 3mm. there is a fine 1mm to 2mm wide crack over the kitchen door. We observed no significant cracking or damage to the ceilings in this room.

v. Landing (front)

The floor is of suspended timber construction and is reasonably level front to back, however, there is a significant distortion across the rear bedroom door tending to the right in the order of 10mm to 12mm. there is a hairline crack across the landing ceiling and a further 1mm to 2mm wide crack below the landing window.



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vi. Bathroom (front left)

The floor is of suspended timber construction and slopes by 1mm or 2mm towards the external left wall with a more significant distortion tending towards the stair trimmers. We observed no significant cracking or damage to the walls and ceilings in this room.

vii. First Floor-Front right bedroom

The floor is of suspended timber construction and is reasonably level and we observed no significant cracking or damage to the walls and ceilings in this room.



viii. First floor – Rear left bedroom

The floor is of suspended timber construction and is reasonably level front to back, however, there is a significant distortion adjacent to the internal bedroom wall varying from 10mm to 12mm. There is a hairline to 1mm crack below the window and a hairline to 2mm crack between the internal wall and rear wall. There is a hairline to 1mm crack across the bedroom ceiling.



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ix. First floor- Rear right bedroom

The floor is of suspended timber construction and is reasonably level however we observed a distortion adjacent to the internal left bedroom wall varying from 2mm to 3mm with a general distortion on the floor in the order of 2mm to 3mm tending to the left. There is a 1mm to 2mm crack below the window, repaired previously, with fine repaired cracks across the ceiling. There is a vertical crack between the internal wall and rear wall varying from hairline to 1mm wide.



## 6. Discussions:

The property is approximately 90 years old and is in a reasonable condition. The property has typical minor defects related to the type of construction and age of build. However, there is a general distortion recorded within most of the property and external walls tending to the left and rear left corner. The movement to the front porch and kitchen bay window could be associated, in part, to possible shallow foundations, however, this would result in early life settlement with possible minor movement in time. The degree of cracking observed around the front porch and kitchen bay window indicates ongoing and recent foundation movement due to subsidence. The main distortions to the house relate to differential movement of the foundations due to subsidence, and we consider the subsidence movement has been caused by the presence of mature trees on the front and left of the property. Some of the movement appears to be longstanding in nature relating to early life settlement, however, we consider most of the recent movement and crack damage inspected is related to the presence of the mature trees.

The property has some timber external lintel these have deflected and in the case of the cloakroom window has timber decay. There is associated cracking to the external brickwork over these windows. Some of the crack damage over the windows has been exacerbated by movement of the foundations tending to the left and rear.

The outward distortions to the left flank wall probably relate to corrosion or failure of the cavity wall ties. Considering the age of the property we anticipate the cavity walls are constructed using galvanised butterfly type ties, these have nominal galvanising and are prone to corrode over time. We understand a cavity wall tie survey has been undertaken and the specialist has advised corrosion is present on the original cavity wall ties and that remedial stainless steel cavity wall ties need to be installed.

Some of the first-floor walls are constructed off the timber floor joists, this is a typical construction detail for the age of build and has resulted in localised distortions to the floor as the load is transferred on to the floor joists and the joists naturally deflect.

There are three mature trees within the boundary of the property on the front and left of the property, these trees are within influencing distance of the foundations of the property. Mature trees in close proximity to the property can result in seasonal foundation movement, tree roots could also penetrate drains resulting in drainage defects. The BGS maps and site investigations undertaken previously confirm the presence of a clay subsoil clay sub-soils below the site and foundations. Clay subsoils can become desiccated due to the extract of moisture by the tree roots resulting in clay shrinkage. The shrinkage of the clay subsoil can result in subsidence of foundations bearing onto the clay. This type of movement generally seasonal and occurs when there are mature trees present close the property, the subsoil is cohesive in nature and is a significant and prolonged period of dry weather. We anticipate that some recovery and heave of the clay subsoil during winter months.

The previous trial pits confirm that the main property is founded on traditional brick spread foundations set approximately 520mm below ground level, with the kitchen bay window founded at 250mm below ground level on concrete strip foundations and the front porch founded on a raft slab just below ground level. The foundations are set on stiff dry clay subsoil and the clay was proved to a depth of 2.1m. No ground water was encountered within the investigations. We consider that an Arboricultural report should be undertaken to confirm the influence of the trees within the boundary of the property.

We have been provided with a CCTV drainage survey report which confirm that the drains along the left and rear have displaced joints and root intrusions/ root mass, they also reported blockages. We consider that some of the displaced joints may be associated with the presence of roots from the mature trees. The drainage specialists have recommended repairs and further inspection during remedial works to ensure integrity of serviceability of the drainage system. Defective drainage can cause subsidence local to the defects present, however, the dry nature of the subsoil suggests that the defective drains are not the significant cause of damage.

## 1. Subsidence damage- main house.

The survey confirms general distortions tending left-hand side with associated crack damage externally and internally to the front wall and rear wall. The mechanism of movement is tending to the left and rear left corner. The damage varies from hairline to 5mm in width and is therefore classed as category 2 of the BRE Digest 251 classification i.e., slight degree of damage. Some of the movement and crack damage appears to be weathered and aged, however, we consider most of the movement and crack damage is related to root induced clay shrinkage subsidence and has been ongoing for a number of years.

Based on the nature of the damage and direction of movement, the trees are responsible for the subsidence movement, and the damage has been caused by clay related subsidence. We recommend that the trees be removed in order to reduce the influence of the tree roots on the clay subsoil. The ground should be allowed to re-hydrate through at least a winter period, prior to undertaking superstructure strengthening and repairs. As the clay subsoil re-hydrates, we anticipate that a slight degree of heave and recovery of the subsoil will occur which requires consideration prior to undertaking repairs.

The repairs to the main external and internal cracks on the front, left and rear wall should be raked out, Helibar or equivalent stainless steel masonry reinforcement installed across the cracks to return integrity to the walls, the cracks grouted with cementitious or epoxy grouts with pointing reinstated to match existing externally and plaster reinstated on expanded metal lath internally.

If the trees were to be retained, we consider that ongoing seasonal movement will occur due to root induced clay shrinkage whenever there is a significant dry summer, and that the damage will progress and increase over time as the trees grow to full maturity. We would in this instance recommend underpinning the main loadbearing walls of the property, with the depth calculated based on NHBC Chapter 4.2- Building Near trees. recommendations. The damage to the external walls would have to be repaired as noted above.

## 2. Porch and kitchen bay window- subsidence damage.

The survey confirms general distortions to the porch and kitchen bay window tending left with associated crack damage externally. The mechanism of movement is tending to the left and rear left corner. The damage varies from 1mm to 5mm in width and is therefore classed as category 2 of the BRE Digest 251 classification i.e., slight degree of damage. The crack damage appears to be weathered and aged, we therefore consider that some of the movement is associated with initial settlement of the shallow founded porch and kitchen bay window, however, the more recent movement across these old fracture and distortions is in our opinion associated to root induced clay shrinkage subsidence.

Based on the nature of the damage and direction of movement, the trees are responsible for the subsidence movement, and the current damage has been caused by clay related subsidence. We recommend that the trees be removed in order to reduce the influence of the tree roots on the clay subsoil. The ground should be allowed to re-hydrate through at least a winter period, prior to undertaking superstructure strengthening and repairs. As the clay subsoil re-hydrates, we anticipate that a slight degree of heave and recovery of the subsoil will occur which requires consideration prior to repairs.

Due to the shallow nature of the foundations of the porch and kitchen bay window we consider that to ensure long term stability they should be underpinned following which the crack damage should be raked out, Helibar or equivalent stainless steel masonry reinforcement installed across the cracks to return integrity to the walls, the cracks grouted with cementitious or epoxy grouts with pointing reinstated to match existing externally and plaster reinstated on expanded metal lath internally.

### 3. External brickwork- timber lintels.

The external leaf lintel over the cloakroom window and rear dining room window are of timber, these have deflected and in the case of the cloakroom is decayed. We recommend that the outer leaf is supported temporarily, brickwork and lintel cut out carefully and proprietary galvanised mild steel angle lintel or stone-faced concrete lintels installed. The crack damage over the windows should be repaired by raking out the damaged mortar joints, installing HeliBar or equivalent stainless steel masonry reinforcement across the cracks to return integrity to the walls, the cracks grouted with cementitious or epoxy grouts with pointing reinstated to match existing externally and plaster reinstated on expanded metal lath internally.

### 7. Budget costs.

Taking into consideration the above, we would suggest budget costing are as follows:

#### 1. *Main house- subsidence movement.*

We suggest a budget cost of between £2,000 and £2,500 be set aside for the structural repairs to the external walls using masonry reinforcement (HeliBar or equivalent), grouting cracks and pointing and plaster repairs if the trees were to be removed.

We suggest a budget cost of between £17,000 and £22,000 be set aside for underpinning the main loadbearing walls in addition to the structural repairs cost above, should the trees be retained.

#### 2. *Porch and kitchen bay window- subsidence movement.*

We suggest a budget cost of between £4,000 and £5,000 be set aside for underpinning the porch and kitchen bay window and undertaking structural repairs to the external walls using masonry reinforcement (HeliBar or equivalent), grouting cracks and pointing and plaster repairs.

#### 3. *External brickwork- lack of lintels.*

We suggest a budget cost of between £300 and £400 be set aside for installing new galvanised mild steel external leaf lintels or concrete lintels over each of the openings where the brickwork is damage or has deflected.

#### 4. *External brickwork- Cavity wall ties.*

We suggest a budget cost of between £1,500 and £2,000 be set aside for installing new stainless steel remedial cavity wall ties and treating or removing existing ties.

#### 5. *External Drainage.*

Based on the drainage survey and report we recommend that a budget cost of between £1,200 and £1,300 be set aside for undertaking drainage repairs and further investigations.

The above costs do not include VAT or costs associated with redecoration.

We would always advise that you obtain at least two priced for any work that you undertake and that all work should be carried out by Registered Builders or Approved Contractors.

## 8. Conclusions.

The property is a left hand, three-bedroom, two storey semi-detached built over 90 years ago of traditional masonry construction with, loadbearing and non-loadbearing masonry internal walls, suspended timber floors, and a hipped tiled roof.

We consider the main structure of the property has been affected by subsidence due to root induced clay shrinkage tending to the left and rear. With the porch and kitchen bay being affected by early life settlement and ongoing subsidence damage due to root induced clay shrinkage.

If the trees are to be removed as recommended that superstructure repairs can be undertaken after the clay subsoil has had a period of time to re-hydrate, following which superstructure repairs can be undertaken to the main load-bearing walls. Due to the shallow nature of the foundations of the porch and kitchen bay window we recommend that these foundations should be underpinned following which superstructure repairs should be undertaken.

If the trees are not removed the main loadbearing walls of the property will have to be underpinned, however the cost and disruption of this will be significant. Underpinning will have to be extended to below the influence of the tree roots based on the depths determined by Chapter 4.2- Building Near Trees of the NHBC standards.

The property has some external timber lintels they have deflected and are subject to decay, these should be cut out and replaced with damage to the brickwork over repaired.

We noted some distortions to external walls relating to possible cavity wall tie failure, a specialist has already undertaken a cavity wall ties survey. We advise that the recommendations made by the specialist are implemented.

A drainage survey has been undertaken which has confirmed defects including root intrusions/ root mass, displaced joints and blockages. We advise that the recommendations made by the drainage specialist are implemented.

We trust that this is all sufficient for your purposes, however, should you have any queries then please do not hesitate to contact us.

Yours sincerely



**Mohammed S Rawat**

BSc CEng MStructE CertCI

For [STL Projects Ltd](#)

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2020 7757

## 109 Parsonage Rd

# Structural Investigation Report

### Summary

The property is typical in structural arrangement and construction to other buildings of this type and age there being no non-standard or unusual structural features.

It has suffered from differential foundation movement as a whole but more significantly to the front porch and single storey side bay where the foundations are inadequate. There are three large mature trees in close proximity to the left hand side of the property which are causing on-going subsidence through damage to the below ground drainage and desiccation of the clay subsoils. We understand that it is the intention of the prospective purchase to remove the trees affecting the property soon after completion with construction of a side extension in the medium term and we would strongly recommend that advice is sought to establish that removal of the trees is acceptable to the relevant authorities. On this basis only the entrance porch and side bay if retained would require underpinning however if the trees are not removed for whatever reason there is a risk of ongoing seasonal foundation movement to the property as a whole which would require underpinning of the main house to eliminate. If the trees are removed as suggested there is a risk of some damage to the property in the short to medium term as a result of heave as the clay subsoil rehydrate and recover which may require some ongoing repair of cracking from time to time.

The rainwater goods and below ground drainage should be repaired as necessary.

In addition the outer leaf of brickwork was displaying slight out of plane movement and the wall ties were found to have some surface corrosion therefore we would recommend installation of remedial wall in the short to medium term.

Date of Report: 19/10/2020

Report Revision:A1



<b>Revision</b>	<b>Author</b>	<b>Checked By</b>	<b>Approved By</b>	<b>Issued to</b>	<b>Issue Date</b>
A0, First issue	Lesley Russell CEng MIStructE	Lesley Russell CEng MIStructE	Nick Forman IEng AMIStructE MICE	Client	29/09/2020
A1 Further Investigation added	Lesley Russell CEng MIStructE	Lesley Russell CEng MIStructE	Nick Forman IEng AMIStructE MICE	Client	19/10/2020





## 1. Client

<b>Client</b>	Adele Hunter
	Sean Callaghan
<b>Address</b>	51 Lambeth Rd
	Reddish
	SK5 6TL

## 2. Subject Property

<b>Address</b>	109 Parsonage Rd
	Withington
	Manchester
	M20 4WZ

## 3. Survey Overview

<b>BDI Reference</b>	2020 7757
<b>Date of visit</b>	22/09/2020
<b>Time of visit</b>	12:00 PM (1 GMT)
<b>Survey/Inspection by</b>	The Survey was undertaken by Lesley Russell. Lesley Russell is a qualified structural engineer, registered with the engineering council, and a member of the Institution of Structural Engineers since 1993. She has over 25 years' experience in low rise buildings and has reported on building defects for over 10 years.
<b>Weather at Time of Visit</b>	Cloudy and overcast
<b>Background and reason for Structural Survey</b>	The client is a potential purchaser of the subject property. A recent valuations survey raised concerns in relation to cracking and movement of the property.




## 4. Terms of Reference

<b>Terms of Reference</b>	Attend the subject property and undertake a visual Structural inspection and report upon the cause and significance of cracking and movement.
<b>Survey Limitations</b>	We have not inspected the property for evidence of timber rot, infestation or Dampness to walls and floors. If you have concerns in relation to these aspects we recommend that you engage a suitably qualified specialist surveyor who is a member of the BWPDA. We would always recommend that a Timber and Damp survey is appropriate for a property of this age., The external and internal observations are limited to aspects that we consider to be of relevance to the terms of reference. The observations relate to the significant aspects and should not be considered a detailed condition survey.


## 5. General Description of Building and site


<b>Building type</b>	Semi Detached House, Left Hand
<b>Age of Property</b>	Circa 1930
<b>Structural Form</b>	Load Bearing Masonry
<b>Structural Stability</b>	Buttressing Walls and Floor plates
<b>Number of Stories</b>	2
<b>External Walls</b>	Cavity Brick walls
<b>Roof Covering</b>	Clay Tiles
<b>Roof Structure</b>	Cut Timber rafters and purlins
<b>Upper Floors</b>	Timber floor joists Lath and Plaster
<b>Ground Floors</b>	Timber floor joists
<b>Internal Walls</b>	Brick walls
<b>Cellar/Basement</b>	No
<b>Overall General Condition</b>	
<b>Site Topography</b>	Generally level
<b>Below Ground drainage relevant to terms of reference</b>	Not Inspected; drainage not relevant to Terms of Reference


<b>Trees and Vegetation</b>	There are three mature trees located within the boundary of the subject property, one positioned approximately 5 metres forward of the front left hand corner of the house, a second approximately 4 metres to the left of the same corner of the house and a third approximately 4 metres to the left and 4 metres to the rear of the rear left hand corner of the house.
<b>Height of Vegetation</b>	15 - 20 metres
<b>Photograph of Vegetation</b>	


## 6. Observations


### 6.1 External Observations

<b>No</b>	6.1.1
<b>Location</b>	Front Elevation
<b>Zone</b>	Elevation Generally
<b>Description</b>	There is a slight fall on the semi circular bay bed joints back to the main front elevation.
<b>Photograph</b>	


<b>No</b>	6.1.2
<b>Location</b>	Front Elevation
<b>Zone</b>	First Floor Bay
<b>Description</b>	There is vertical separation cracking of the first floor bay and the front elevation.
<b>Photograph</b>	

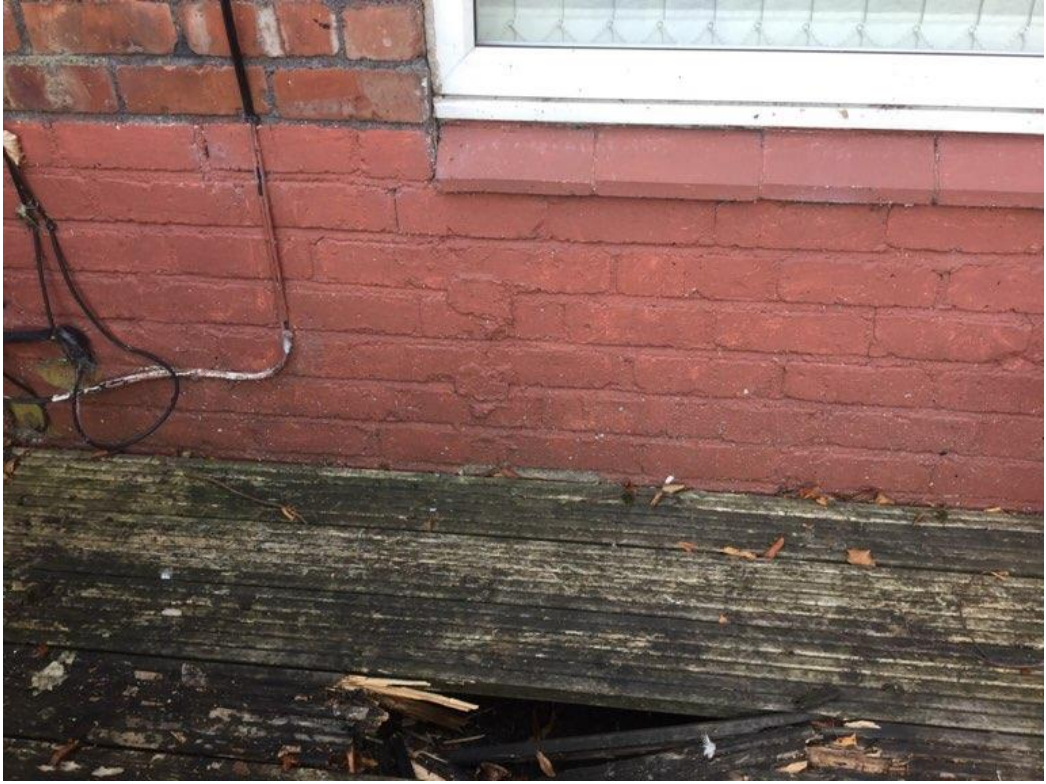
<b>No</b>	6.1.3
<b>Location</b>	Porch
<b>Zone</b>	Brick Coursing
<b>Description</b>	The mortar bed joints fall noticeably from rear to front and slightly from right to left. There is vertical separation cracking at both sides where the porch meets the main front and side elevations.
<b>Photograph</b>	


<b>No</b>	6.1.4
<b>Location</b>	Left Elevation
<b>Zone</b>	Elevation Generally
<b>Description</b>	There is some slight undulation from vertical of the elevation. The mortar bed joints are to reasonable level.
<b>Photograph</b>	


<b>No</b>	6.1.5
<b>Location</b>	Left Elevation
<b>Zone</b>	Single Storey Side Bay
<b>Description</b>	There is a noticeable fall of the bed joints from right to left and to a lesser degree from rear to front with vertical separation cracking at the junction with the left hand elevation.
<b>Photograph</b>	




<b>No</b>	6.1.6
<b>Location</b>	Rear Elevation
<b>Zone</b>	Brick Coursing
<b>Description</b>	There is a general fall on the mortar bed joints from left to right as viewed from the rear. The elevation is to reasonable verticality with some very slight undulations.
<b>Photograph</b>	


<b>No</b>	6.1.7
<b>Location</b>	Rear Elevation
<b>Zone</b>	Below Window
<b>Description</b>	There is stepped cracking below and to the left and vertical cracking below and to the right of the lounge window as viewed from the rear.
<b>Photograph</b>	


<b>No</b>	6.1.8
<b>Location</b>	Rear Elevation
<b>Zone</b>	Over Window
<b>Description</b>	There is a stepped crack from the top left of the lounge window projecting up and to the right all as viewed from the rear.
<b>Photograph</b>	


<b>No</b>	6.1.8
<b>Location</b>	Roof
<b>Zone</b>	General Observation
<b>Description</b>	The front roof slope appears to be to reasonable line and level.
<b>Photograph</b>	

<b>No</b>	6.1.9
<b>Location</b>	Roof
<b>Zone</b>	General Observation
<b>Description</b>	The side and rear roof slopes appear to be to reasonable line and level.
<b>Photograph</b>	


## 6.2 Internal Observations


<b>No</b>	6.2.1
<b>Location</b>	First Floor, Front Right Bedroom
<b>Zone</b>	General Observation
<b>Description</b>	The room is decorated in old thick wallpaper to the walls and ceiling, there are no obvious signs of distress.
<b>Photograph</b>	


<b>No</b>	6.2.2
<b>Location</b>	First Floor, Front Right Bedroom
<b>Zone</b>	Floor
<b>Description</b>	There is a local dip in the floorboards adjacent to the radiator located on the internal division wall with the rear bedroom.
<b>Photograph</b>	

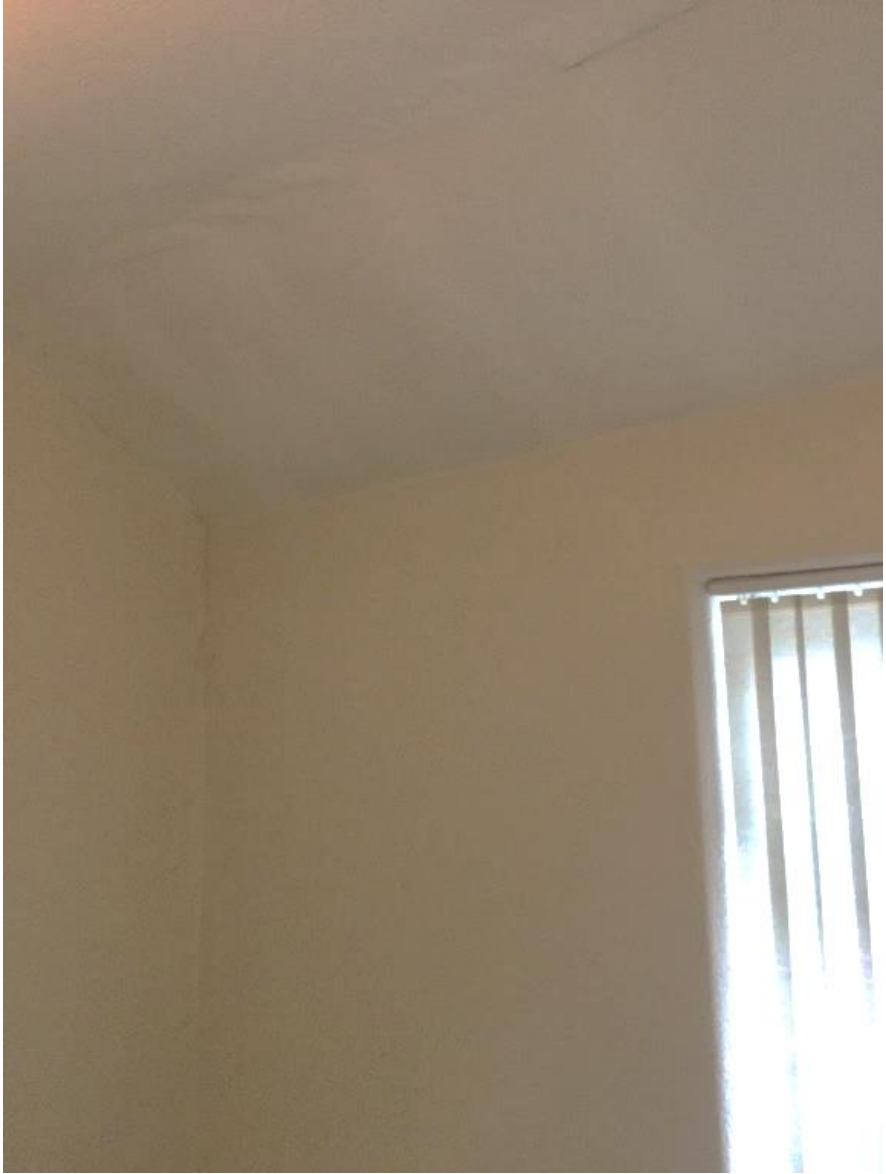
<b>No</b>	6.2.3
<b>Location</b>	First Floor, Bathroom
<b>Zone</b>	General Observation
<b>Description</b>	There is a slight fall on the floor from right to left and a slight outward lean on the left hand external wall. The is disturbance to the wallpaper to the ceiling.
<b>No</b>	6.2.4
<b>Location</b>	First Floor, Bedroom
<b>Zone</b>	Floor
<b>Description</b>	There is fall on the floor and rear window cill from right to left.
<b>Photograph</b>	





<b>No</b>	6.2.5
<b>Location</b>	First Floor, Rear Right Bedroom
<b>Zone</b>	Internal wall, External Wall
<b>Description</b>	There is a slight outward lean of the rear wall to the left of the window and rucking of the wallpaper at the junction with the internal division wall to the rear left bedroom.
<b>Photograph</b>	


<b>No</b>	6.2.6
<b>Location</b>	First Floor, Rear Left Bedroom
<b>Zone</b>	General Observation
<b>Description</b>	There is a very slight fall on the rear window cill from right to left, the floor and external walls are to reasonable level and vertical respectively.
<b>Photograph</b>	


<b>No</b>	6.2.7
<b>Location</b>	First Floor, Hall
<b>Zone</b>	Floor
<b>Description</b>	There is a general fall on the floor from right to left with local dips down to the right and the thresholds of the right hand bedrooms forming a ridge running front to back.
<b>Photograph</b>	

<b>No</b>	6.2.8
<b>Location</b>	First Floor, Landing
<b>Zone</b>	External Wall, Internal wall
<b>Description</b>	There is vertical separation of the wallpaper at the junction of the left hand external wall and the division wall of the front left bedroom and landing. There is disturbance of the ceiling at the junction of the vaulted and horizontal sections.
<b>Photograph</b>	


<b>No</b>	6.2.9
<b>Location</b>	Ground Floor, Kitchen
<b>Zone</b>	General Observation
<b>Description</b>	There is a fall of the side window cills of the bay and kitchen worktop where it projects into bay from right to left.
<b>Photograph</b>	

<b>No</b>	6.2.10
<b>Location</b>	Ground Floor, Rear Reception Room
<b>Zone</b>	General Observation
<b>Description</b>	There is a fall on the window cill from right to left and a slight fall on the floor in the rear left hand corner although the majority of the floor is to reasonable level.
<b>Photograph</b>	

<b>No</b>	6.2.11
<b>Location</b>	Ground Floor, Front Reception Room
<b>Zone</b>	General Observation
<b>Description</b>	The bay cill and floor is to reasonable level, there is a short tear in the wallpaper below and to the right of the bay window and viewed from inside the room.
<b>Photograph</b>	

<b>No</b>	6.2.12
<b>Location</b>	Ground Floor, WC
<b>Zone</b>	External Wall
<b>Description</b>	There is a short vertical crack above and to the right of the window.
<b>Photograph</b>	



<b>No</b>	6.2.13
<b>Location</b>	Ground Floor, Porch
<b>Zone</b>	External Wall
<b>Description</b>	There is cracking in the porch at both sides where it meets the house and to the left of the door as viewed from inside the porch.
<b>Photograph</b>	



## 7. Discussion Conclusions

The property is typical in structural arrangement and construction to other buildings of this type and age there being no non-standard or unusual structural features.

The property has suffered from differential foundation movement much of which appears longstanding in nature clearly indicated by the fall to floors, cills and mortar bed joints together with some external cracking. The movement of the main house seems to be downwards towards the rear left hand corner of the property and could possibly be the result of subsidence related to the mature trees to this side of the house. The porch and single storey side bay have both suffered from further differential foundation movement relative to the main house, having rotated forward and to the left respectively. The movement to these sections of the property is more pronounced which is likely to be the result of shallower or less substantial foundations.

The presence of such large trees so close to the property can be problematical to the foundations and below ground drainage particularly where the foundations bear on clay sub-soils which can become desiccated by the extract of moisture by the tree roots. The drying out of the ground in this way reduces its volume and can result in subsidence of foundations supported on it particularly in times of prolonged dry weather. Movement of this type is usually seasonal with some recover in wetter months and therefore recommendation was given to carry out a trial hole investigation to assess the depth of the foundations, the soil that they bear on to and if any clay its susceptibility to shrinkage. Given the more significant movement of the porch and side bay it is likely that these will require strengthening of the foundations in these locations by underpinning, the type and depth require to be established during the trial hole investigation.

Elsewhere the elevations were noted to have some slight out of plane movement most notably to the left hand elevation where a ripple effect could be seen to the outer leaf, movement of this type in cavity walls is usually associated with corrosion of the wall ties prior to failure. Properties of this age and type typical contain thin wire butterfly ties to connect the inner and outer leaves of masonry and these are particularly susceptible to corrosion over time. A separate inspection of the wall ties has been carried out by Atlas Survey and Building Services which noted surface corrosion of the wall ties at low level we would therefore recommend that remedial wall ties are installed in the short to medium term to prevent any further lateral movement of the outer leaf.



## 8. Further Investigation

Two trial holes were excavated by hand on the 6<sup>th</sup> October 2020 adjacent to the left hand elevation of the property the findings being as follows:-

### Trial Hole 1

Located on the rear left hand corner of the property the foundation of the main house was found to be a traditional spread brick footing with two steps giving an overall projection of 100 mm from the face of the elevation and bearing at a depth of 520 mm below external ground level onto stiff dry clay containing many roots. The adjacent bay foundation was found to be a 150 mm thick concrete strip footing bearing at a depth of 250 mm below external ground level with a projection of 70 mm beyond the face of the brickwork and bearing onto fill material. The ground was then auger to a depth of 1.0 metre below ground level with the ground remaining stiff clay throughout and no ground water encountered.

### Trial Hole 2

Located on the front left hand corner of the property the foundation of the main house was found to be the same as at the rear however the clay at foundation bearing level was not found to be particularly dry despite the presence of roots. The adjacent gulley however was found to be completely blocked with debris and the rainwater pipe to the porch found to be blocked with leaves, therefore any rainwater will have been discharging directly into the ground. The adjacent porch was found to be off a nominal concrete slab bearing directly on the ground at external ground level. The ground was then auger to a depth of 2.1 metres below ground level with the ground becoming stiffer and drier with depth but remaining stiff brown slightly sandy clay throughout with no ground water encountered.

### Samples

Soil samples were taken from Trial Hole 1 at a depth of 1.0 metre and Trial Hole 2 at depths of 1.2 metres and 1.9 metres respectively and these were tested to determine their moisture content and susceptibility for volume change.

The results found the soil to be a stiff brown slightly silty sandy Clay with a low moisture content but given the range of plasticity the material having a modified Plasticity index of 20 indicating a low volume change potential when classified in accordance with NHBC guidance.

## 9. Further Information from Client

The client has advised that it is their intention to remove the trees located within the curtilage of the property immediately after purchase and that the trees are not protected by TPO's with the view of constructing an extension to the side in the medium term. The advice contained within this report is based on this information however we would strongly recommend that confirmation of permission to remove the trees is sought prior to commitment to purchase.



## 10. Conclusions

The foundation movement that has occurred to the porch and side bay is as a result of inadequate foundations and if retained these will require underpinning to bear on suitable bearing strata, the movement that has currently occurred has not damaged the main house and therefore underpinning or removal is not considered to be urgent however should they be retained without any remedial works this situation should be monitored for further signs of damage.

The movement that can be seen to have occurred to the main house is as a result of differential foundation movement as a result of desiccation of the clay subsoils caused by the presence of the trees. Desiccation being the drying out of the clay by extract of moisture by the action of the tree roots particularly in time of prolonged dry weather or drought, movement of this type is usually seasonal with some recovery during the wetter winter months. Given the size and age of the trees their removal can cause some heave i.e. swelling of the ground in the short to medium term as the ground rehydrates and it is important that specialist advice is sought on the method of removal by a suitably qualified arborculturalist.

Once the trees are removed the external cracking can be repaired by the raking out and repointing the mortar joints and internally by redecoration however, it should be noted that some recurrence of cracking may occur in the short to medium term as the ground rehydrates.

The reader should be aware that if the extension is built prior to recovery / rehydration of the ground special precautions will be necessary to ensure that the foundations extend below the depth of influence of the trees. Similarly should the trees be retained for any reason the property will be at risk of further seasonal movement and to eliminate this risk it would be necessary to underpin the original property.

The extent of damage to rainwater goods and below ground drainage should be assessed and repaired as necessary and remedial wall ties installed in the short to medium term.

## 11. Budgets and Timescales

Should the entrance porch and side bay be retained a typical budget for underpinning would be in the region of £3000 and £5000 + VAT respectively.

Should the trees be retained and to eliminate the risk of seasonal movement the cost of underpinning of the main house to suitable depth would be in the order of £15,000 – 20,000 + VAT.

A budget allowance of repair of internal and external cracking of £1000 – 2000 + VAT

We would recommend that remedial wall ties are installed in the short to medium term typical cost £1000-1200 + VAT.



Note: Where indicated above budgets are provided as a guide. Repair costs exclude cosmetic aspects such as decorating and works to other finishes.

Where budget costings are provided, they are provided purely as a guide and are based upon our experience of costs of similar repairs to similar properties. Accurate costings should be obtained from suitably qualified and experienced building contractors.

Where we have indicated budget for repairs or further investigations, we will give timescales in respect of these works which are defined as follows:

**Immediately:** An action or repairs required as soon as possible is may represent further investigations or aspects that relate to structural stability or health and safety, it may also relate to aspects that should be investigated further and/or resolved before, in our opinion, committing to the purchase of a building,

**Short:** Repairs or works likley to be required in the next 12 months

**Medium:** Repairs or works likley to be required in the next 3 to 5 Years

**Long term:** Repairs or works that will or may be required in a time frame exceeding 5 Years.

## 9. Summary

The property is typical in structural arrangement and construction to other buildings of this type and age there being no non-standard or unusual structural features.

It has suffered from differential foundation movement as a whole but more significantly to the front porch and single storey side bay where the foundations are inadequate. There are three large mature trees in close proximity to the left hand side of the property which are causing on-going subsidence through damage to the below ground drainage and desiccation of the clay subsoils. We understand that it is the intention of the prospective purchase to remove the trees affecting the property soon after completion with construction of a side extension in the medium term and we would strongly recommend that advice is sought to establish that removal of the trees is acceptable to the relevant authorities. On this basis only the entrance porch and side bay if retained would require underpinning however if the trees are not removed for whatever reason there is a risk of ongoing seasonal foundation movement to the property as a whole which would require underpinning of the main house to eliminate. If the trees are removed as suggested there is a risk of some damage to the property in the short to medium term as a result of heave as the clay subsoil rehydrate and recover which may require some ongoing repair of cracking from time to time.

The rainwater goods and below ground drainage should be repaired as necessary.

In additional the outer leaf of brickwork was displaying slight out of plain movement and the wall ties were found to have some surface corrosion therefore we would recommend installation of remedial wall in the short to medium term.



## **Appendix A | Understanding This Report**

This report is written for the benefit of the named client in relation to the subject property only. It should not be used for any other purpose, and may only be copied to a third party with the permission of the Client or BDI structural solutions.

The scope of this report is limited to the consideration of the issues described under the term of reference.

Unless specifically referred to in the report we have not inspected woodwork or other parts of the structure, which are covered, unexposed or inaccessible and are therefore unable to report that any such part of the property is free from defect.

The various sections of the report contain information as follows:

### **General Description of Property**

A brief summary of the type of building. This is factual information and does not describe the condition of the property.

### **Background**

Outlines the reasons for the client instructing BDI structural solutions to carry out the survey and report. Any special instructions or particular relevant background information given to us will also be included in this section.

### **Observations**

The damage or other characteristics of the subject property are described in this section. Factual observations are recorded, including any measurements taken, but opinions on causes and recommendations are not given in this section.

### **Discussions and Conclusions**

This section summarises our expert consideration of the damage and any other characteristics relating to the subject property. In many cases the options will be discussed and where appropriate the advantages and disadvantages of different solutions are discussed.

### **Suggested Timescale and Budget Costing**

Where appropriate we give an indication of the timescale that should be considered for any recommended solutions. Where budget costings are provided these are purely provided as a guide and are based upon our experience of costs of similar repairs to similar properties. Accurate costings should be obtained from suitably qualified and experienced building contractors.

### **Queries**

We try wherever possible to avoid the use of unfamiliar technical terms or jargon and to provide practical technical advice. If you are unclear about the meaning of any words or phrases, or the conclusions of our report, please call us and we will clarify matters for you. If necessary we will revise and reissue this report.

2020 7757

## 109 Parsonage Rd

# Structural Investigation Report

### Summary

The property is typical in structural arrangement and construction to other buildings of this type and age there being no non-standard or unusual structural features.

It has suffered from differential foundation movement as a whole but more significantly to the front porch and single storey side bay where the foundations are inadequate. There are three large mature trees in close proximity to the left hand side of the property which are causing on-going subsidence through damage to the below ground drainage and desiccation of the clay subsoils. We understand that it is the intention of the prospective purchaser to remove the trees affecting the property soon after completion with construction of a side extension in the medium term and we would strongly recommend that advice is sought to establish that removal of the trees is acceptable to the relevant authorities. On this basis only the entrance porch and side bay if retained would require underpinning however if the trees are not removed for whatever reason there is a risk of ongoing seasonal foundation movement to the property as a whole which would require underpinning of the main house to eliminate. If the trees are removed as suggested there is a risk of some damage to the property in the short to medium term as a result of heave as the clay subsoil rehydrates and recovers which may require some ongoing repair of cracking from time to time.

The rainwater goods and below ground drainage should be repaired as necessary.

In addition the outer leaf of brickwork was displaying slight out of plane movement and the wall ties were found to have some surface corrosion therefore we would recommend installation of remedial wall in the short to medium term.

Date of Report: 01/03/2021

Report Revision:A2



<b>Revision</b>	<b>Author</b>	<b>Checked By</b>	<b>Approved By</b>	<b>Issued to</b>	<b>Issue Date</b>
A0, First issue	Lesley Russell CEng MIStructE	Lesley Russell CEng MIStructE	Nick Forman IEng AMIStructE MICE	Client	29/09/2020
A1 Further Investigation added	Lesley Russell CEng MIStructE	Lesley Russell CEng MIStructE	Nick Forman IEng AMIStructE MICE	Client	19/10/2020
A2  Minor modifications	Lesley Russell CEng MIStructE	Lesley Russell CEng MIStructE	Nick Forman IEng AMIStructE MICE	Client	01/03/2021





## 1. Client

<b>Client</b>	Adele Hunter
	Sean Callaghan
<b>Address</b>	51 Lambeth Rd
	Reddish
	SK5 6TL

## 2. Subject Property

<b>Address</b>	109 Parsonage Rd
	Withington
	Manchester
	M20 4WZ

## 3. Survey Overview

<b>BDI Reference</b>	2020 7757
<b>Date of visit</b>	22/09/2020
<b>Date of further investigation</b>	06/10/2020
<b>Time of visit</b>	12:00 PM (1 GMT)
<b>Survey/Inspection by</b>	The Survey was undertaken by Lesley Russell. Lesley Russell is a qualified structural engineer, registered with the engineering council, and a member of the Institution of Structural Engineers since 1993. She has over 25 years' experience in low rise buildings and has reported on building defects for over 10 years.
<b>Weather at Time of Visit</b>	Cloudy and overcast
<b>Background and reason for Structural Survey</b>	The client is a potential purchaser of the subject property. A recent valuations survey raised concerns in relation to cracking and movement of the property.




## 4. Terms of Reference

<b>Terms of Reference</b>	Attend the subject property and undertake a visual Structural inspection and report upon the cause and significance of cracking and movement.
<b>Survey Limitations</b>	We have not inspected the property for evidence of timber rot, infestation or Dampness to walls and floors. If you have concerns in relation to these aspects we recommend that you engage a suitably qualified specialist surveyor who is a member of the BWPDA. We would always recommend that a Timber and Damp survey is appropriate for a property of this age., The external and internal observations are limited to aspects that we consider to be of relevance to the terms of reference. The observations relate to the significant aspects and should not be considered a detailed condition survey.


## 5. General Description of Building and site


<b>Building type</b>	Semi Detached House, Left Hand
<b>Age of Property</b>	Circa 1930
<b>Structural Form</b>	Load Bearing Masonry
<b>Structural Stability</b>	Buttressing Walls and Floor plates
<b>Number of Stories</b>	2
<b>External Walls</b>	Cavity Brick walls
<b>Roof Covering</b>	Clay Tiles
<b>Roof Structure</b>	Cut Timber rafters and purlins
<b>Upper Floors</b>	Timber floor joists Lath and Plaster
<b>Ground Floors</b>	Timber floor joists
<b>Internal Walls</b>	Brick walls
<b>Cellar/Basement</b>	No
<b>Overall General Condition</b>	
<b>Site Topography</b>	Generally level
<b>Below Ground drainage relevant to terms of reference</b>	Not Inspected; drainage not relevant to Terms of Reference


<b>Trees and Vegetation</b>	There are three mature trees located within the boundary of the subject property, one positioned approximately 5 metres forward of the front left hand corner of the house, a second approximately 4 metres to the left of the same corner of the house and a third approximately 4 metres to the left and 4 metres to the rear of the rear left hand corner of the house.
<b>Height of Vegetation</b>	15 - 20 metres
<b>Photograph of Vegetation</b>	


## 6. Observations


### 6.1 External Observations

<b>No</b>	6.1.1
<b>Location</b>	Front Elevation
<b>Zone</b>	Elevation Generally
<b>Description</b>	There is a slight fall on the semi circular bay bed joints back to the main front elevation.
<b>Photograph</b>	


<b>No</b>	6.1.2
<b>Location</b>	Front Elevation
<b>Zone</b>	First Floor Bay
<b>Description</b>	There is vertical separation cracking of the first floor bay and the front elevation.
<b>Photograph</b>	 A photograph of a red brick building facade. The image shows a bay window on the first floor and a larger window above it. There is a visible vertical crack in the brickwork separating the bay window from the rest of the front elevation. A blue satellite dish and a black light fixture are mounted on the brick wall to the left of the windows.

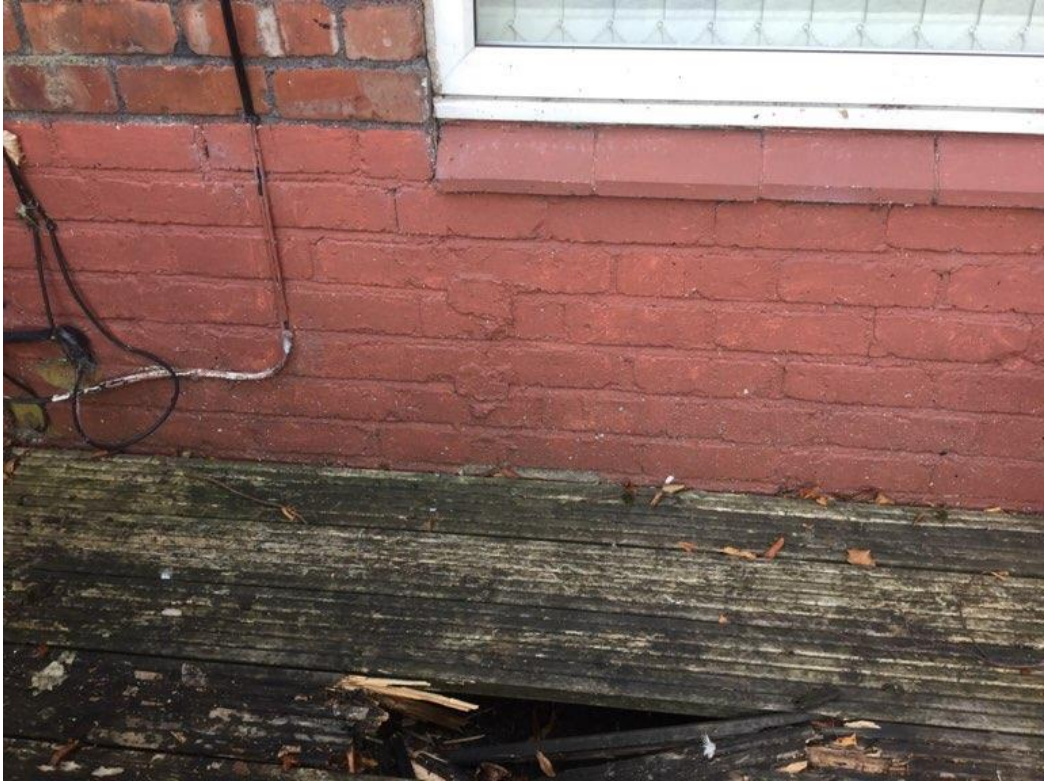
<b>No</b>	6.1.3
<b>Location</b>	Porch
<b>Zone</b>	Brick Coursing
<b>Description</b>	The mortar bed joints fall noticeably from rear to front and slightly from right to left. There is vertical separation cracking at both sides where the porch meets the main front and side elevations.
<b>Photograph</b>	 A photograph showing a corner of a brick wall. Two black downspouts are visible on the left side. The mortar bed joints are uneven, sloping downwards from the rear to the front and slightly from right to left. There is visible vertical separation cracking at the base of the wall where it meets the porch. The ground is covered with grass and some fallen leaves.


<b>No</b>	6.1.4
<b>Location</b>	Left Elevation
<b>Zone</b>	Elevation Generally
<b>Description</b>	There is some slight undulation from vertical of the elevation. The mortar bed joints are to reasonable level.
<b>Photograph</b>	


<b>No</b>	6.1.5
<b>Location</b>	Left Elevation
<b>Zone</b>	Single Storey Side Bay
<b>Description</b>	There is a noticeable fall of the bed joints from right to left and to a lesser degree from rear to front with vertical separation cracking at the junction with the left hand elevation.
<b>Photograph</b>	




<b>No</b>	6.1.6
<b>Location</b>	Rear Elevation
<b>Zone</b>	Brick Coursing
<b>Description</b>	There is a general fall on the mortar bed joints from left to right as viewed from the rear. The elevation is to reasonable verticality with some very slight undulations.
<b>Photograph</b>	


<b>No</b>	6.1.7
<b>Location</b>	Rear Elevation
<b>Zone</b>	Below Window
<b>Description</b>	There is stepped cracking below and to the left and vertical cracking below and to the right of the lounge window as viewed from the rear.
<b>Photograph</b>	


<b>No</b>	6.1.8
<b>Location</b>	Rear Elevation
<b>Zone</b>	Over Window
<b>Description</b>	There is a stepped crack from the top left of the lounge window projecting up and to the right all as viewed from the rear.
<b>Photograph</b>	


<b>No</b>	6.1.8
<b>Location</b>	Roof
<b>Zone</b>	General Observation
<b>Description</b>	The front roof slope appears to be to reasonable line and level.
<b>Photograph</b>	

<b>No</b>	6.1.9
<b>Location</b>	Roof
<b>Zone</b>	General Observation
<b>Description</b>	The side and rear roof slopes appear to be to reasonable line and level.
<b>Photograph</b>	


## 6.2 Internal Observations


<b>No</b>	6.2.1
<b>Location</b>	First Floor, Front Right Bedroom
<b>Zone</b>	General Observation
<b>Description</b>	The room is decorated in old thick wallpaper to the walls and ceiling, there are no obvious signs of distress.
<b>Photograph</b>	


<b>No</b>	6.2.2
<b>Location</b>	First Floor, Front Right Bedroom
<b>Zone</b>	Floor
<b>Description</b>	There is a local dip in the floorboards adjacent to the radiator located on the internal division wall with the rear bedroom.
<b>Photograph</b>	

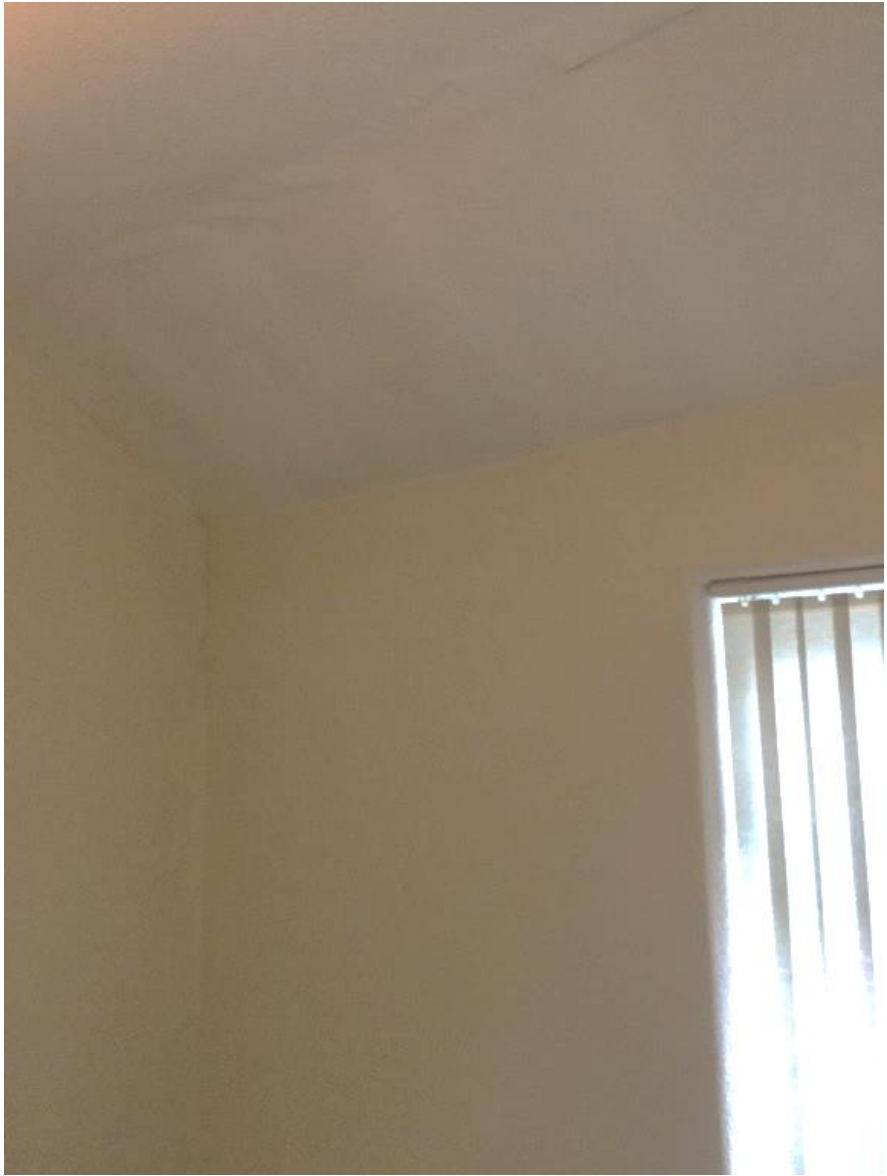
<b>No</b>	6.2.3
<b>Location</b>	First Floor, Bathroom
<b>Zone</b>	General Observation
<b>Description</b>	There is a slight fall on the floor from right to left and a slight outward lean on the left hand external wall. The is disturbance to the wallpaper to the ceiling.
<b>No</b>	6.2.4
<b>Location</b>	First Floor, Bedroom
<b>Zone</b>	Floor
<b>Description</b>	There is fall on the floor and rear window cill from right to left.
<b>Photograph</b>	





<b>No</b>	6.2.5
<b>Location</b>	First Floor, Rear Right Bedroom
<b>Zone</b>	Internal wall, External Wall
<b>Description</b>	There is a slight outward lean of the rear wall to the left of the window and rucking of the wallpaper at the junction with the internal division wall to the rear left bedroom.
<b>Photograph</b>	


<b>No</b>	6.2.6
<b>Location</b>	First Floor, Rear Left Bedroom
<b>Zone</b>	General Observation
<b>Description</b>	There is a very slight fall on the rear window cill from right to left, the floor and external walls are to reasonable level and vertical respectively.
<b>Photograph</b>	


<b>No</b>	6.2.7
<b>Location</b>	First Floor, Hall
<b>Zone</b>	Floor
<b>Description</b>	There is a general fall on the floor from right to left with local dips down to the right and the thresholds of the right hand bedrooms forming a ridge running front to back.
<b>Photograph</b>	

<b>No</b>	6.2.8
<b>Location</b>	First Floor, Landing
<b>Zone</b>	External Wall, Internal wall
<b>Description</b>	There is vertical separation of the wallpaper at the junction of the left hand external wall and the division wall of the front left bedroom and landing. There is disturbance of the ceiling at the junction of the vaulted and horizontal sections.
<b>Photograph</b>	


<b>No</b>	6.2.9
<b>Location</b>	Ground Floor, Kitchen
<b>Zone</b>	General Observation
<b>Description</b>	There is a fall of the side window cills of the bay and kitchen worktop where it projects into bay from right to left.
<b>Photograph</b>	

<b>No</b>	6.2.10
<b>Location</b>	Ground Floor, Rear Reception Room
<b>Zone</b>	General Observation
<b>Description</b>	There is a fall on the window cill from right to left and a slight fall on the floor in the rear left hand corner although the majority of the floor is to reasonable level.
<b>Photograph</b>	

<b>No</b>	6.2.11
<b>Location</b>	Ground Floor, Front Reception Room
<b>Zone</b>	General Observation
<b>Description</b>	The bay cill and floor is to reasonable level, there is a short tear in the wallpaper below and to the right of the bay window and viewed from inside the room.
<b>Photograph</b>	

<b>No</b>	6.2.12
<b>Location</b>	Ground Floor, WC
<b>Zone</b>	External Wall
<b>Description</b>	There is a short vertical crack above and to the right of the window.
<b>Photograph</b>	



<b>No</b>	6.2.13
<b>Location</b>	Ground Floor, Porch
<b>Zone</b>	External Wall
<b>Description</b>	There is cracking in the porch at both sides where it meets the house and to the left of the door as viewed from inside the porch.
<b>Photograph</b>	

## 7. Discussion

The property is typical in structural arrangement and construction to other buildings of this type and age there being no non-standard or unusual structural features.

The property has suffered from differential foundation movement much of which appears longstanding in nature clearly indicated by the fall to floors, cills and mortar bed joints together with some external cracking. The movement of the main house seems to be downwards towards the rear left hand corner of the property and is highly likely to be the result of subsidence related to the mature trees to this side of the house. The porch and single storey side bay have both suffered from further differential foundation movement relative to the main house, having rotated forward and to the left respectively. The movement to these sections of the property is more pronounced which is likely to be the result of shallower or less substantial foundations.

There are three mature trees to the left of the property within the garden which are all within the zone of influence of the property. The presence of such large trees so close to the property can be problematical to the foundations and below ground drainage particularly where the foundations bear on clay sub-soils which can become desiccated by the extract of moisture by the tree roots. The drying out of the ground in this way reduces its volume and can result in subsidence of foundations supported on it particularly in times of prolonged dry weather. Movement of this type is usually seasonal with some recover in wetter months and therefore recommendation was given to carry out a trial hole investigation to assess the depth of the foundations, the soil that they bear on to and if clay its susceptibility to shrinkage. Given the more significant movement of the porch and side bay it is likely that these will require strengthening of the foundations in these locations by underpinning, the type and depth require to be established during the trial hole investigation. The further investigation was carried out on the 6<sup>th</sup> October 2020 and its findings are included in Section 8 of this report and the conclusions based on these findings are included in Section 10.

Elsewhere the elevations were noted to have some slight out of plane movement most notably to the left hand elevation where a ripple effect could be seen to the outer leaf, movement of this type in cavity walls is usually associated with corrosion of the wall ties prior to failure. Properties of this age and type typical contain thin wire butterfly ties to connect the inner and outer leaves of masonry and these are particularly susceptible to corrosion over time. A separate inspection of the wall ties has been carried out by Atlas Survey and Building Services which noted surface corrosion of the wall ties at low level we would therefore recommend that remedial wall ties are installed in the short to medium term to prevent any further lateral movement of the outer leaf.



## 8. Further Investigation

Two trial holes were excavated by hand on the 6<sup>th</sup> October 2020 adjacent to the left hand elevation of the property the findings being as follows: -

### Trial Hole 1

Located on the rear left hand corner of the property the foundation of the main house was found to be a traditional spread brick footing with two steps giving an overall projection of 100 mm from the face of the elevation and bearing at a depth of 520 mm below external ground level onto stiff dry clay containing many roots. The adjacent bay foundation was found to be a 150 mm thick concrete strip footing bearing at a depth of 250 mm below external ground level with a projection of 70 mm beyond the face of the brickwork and bearing onto fill material. The ground was then auger to a depth of 1.0 metre below ground level with the ground remaining stiff clay throughout and no ground water encountered.

### Trial Hole 2

Located on the front left hand corner of the property the foundation of the main house was found to be the same as at the rear however the clay at foundation bearing level was not found to be particularly dry despite the presence of roots. The adjacent gulley however was found to be completely blocked with debris and the rainwater pipe to the porch found to be blocked with leaves, therefore any rainwater will have been discharging directly into the ground. The adjacent porch was found to be off a nominal concrete slab bearing directly on the ground at external ground level. The ground was then auger to a depth of 2.1 metres below ground level with the ground becoming stiffer and drier with depth but remaining stiff brown slightly sandy clay throughout with no ground water encountered.

### Samples

Soil samples were taken from Trial Hole 1 at a depth of 1.0 metre and Trial Hole 2 at depths of 1.2 metres and 1.9 metres respectively and these were tested to determine their moisture content and susceptibility for volume change.

The results found the soil to be a stiff brown slightly silty sandy Clay with a low moisture content but given the range of plasticity the material having a modified Plasticity index of 20 indicating a low volume change potential when classified in accordance with NHBC guidance.

## 9. Further Information from Client

The client has advised that it is their intention to remove the trees located within the curtilage of the property immediately after purchase and that the trees are not protected by TPO's with the view of constructing an extension to the side in the medium term. The advice contained within this report is based on this information however we would strongly recommend that confirmation of permission to remove the trees is sought prior to commitment to purchase.



## 10. Conclusions

The foundation movement that has occurred to the porch and side bay is as a result of inadequate foundations and if retained these will require underpinning to bear on suitable bearing strata, the movement that has currently occurred has not damaged the main house and therefore underpinning or removal is not considered to be urgent however, should they be retained without any remedial works this situation should be monitored for further signs of damage.

The movement that can be seen to have occurred to the main house is as a result of differential foundation movement as a result of desiccation of the clay subsoils caused by the presence of the trees. Desiccation being the drying out of the clay by extract of moisture by the action of the tree roots particularly in time of prolonged dry weather or drought, movement of this type is usually seasonal with some recovery during the wetter winter months. Given the size and age of the trees their removal can cause some heave i.e. swelling of the ground in the short to medium term as the ground rehydrates and it is important that specialist advice is sought on the method of removal by a suitably qualified arborculturalist.

Once the trees are removed the external cracking can be repaired by the raking out and repointing the mortar joints and internally by redecoration however, it should be noted that some recurrence of cracking may occur in the short to medium term as the ground rehydrates.

The reader should be aware that if the extension is built prior to recovery / rehydration of the ground special precautions will be necessary to ensure that the foundations extend below the depth of influence of the trees. Similarly should the trees be retained for any reason the property will be at risk of further seasonal movement and to eliminate this risk it would be necessary to underpin the original property.

The extent of damage to rainwater goods and below ground drainage should be assessed and repaired as necessary and remedial wall ties installed in the short to medium term.

## 11. Budgets and Timescales

Should the entrance porch and side bay be retained a typical budget for underpinning would be in the region of £3000 and £5000 + VAT respectively.

Should the trees be retained and to eliminate the risk of seasonal movement the cost of underpinning of the main house to suitable depth would be in the order of £15,000 – 20,000 + VAT.

A budget allowance of repair of internal and external cracking of £1000 – 2000 + VAT

We would recommend that remedial wall ties are installed in the short to medium term typical cost £1000-1200 + VAT.



Note: Where indicated above budgets are provided as a guide. Repair costs exclude cosmetic aspects such as decorating and works to other finishes.

Where budget costings are provided, they are provided purely as a guide and are based upon our experience of costs of similar repairs to similar properties. Accurate costings should be obtained from suitably qualified and experienced building contractors.

Where we have indicated budget for repairs or further investigations, we will give timescales in respect of these works which are defined as follows:

**Immediately:** An action or repairs required as soon as possible may represent further investigations or aspects that relate to structural stability or health and safety, it may also relate to aspects that should be investigated further and/or resolved before, in our opinion, committing to the purchase of a building,

**Short:** Repairs or works likely to be required in the next 12 months

**Medium:** Repairs or works likely to be required in the next 3 to 5 Years

**Long term:** Repairs or works that will or may be required in a time frame exceeding 5 Years.

## 12. Summary

The property is typical in structural arrangement and construction to other buildings of this type and age there being no non-standard or unusual structural features.

It has suffered from differential foundation movement as a whole but more significantly to the front porch and single storey side bay where the foundations are inadequate. There are three large mature trees in close proximity to the left hand side of the property which are causing on-going subsidence through damage to the below ground drainage and desiccation of the clay subsoils. We understand that it is the intention of the prospective purchaser to remove the trees affecting the property soon after completion with construction of a side extension in the medium term and we would strongly recommend that advice is sought to establish that removal of the trees is acceptable to the relevant authorities. On this basis only the entrance porch and side bay if retained would require underpinning however if the trees are not removed for whatever reason there is a risk of ongoing seasonal foundation movement to the property as a whole which would require underpinning of the main house to eliminate. If the trees are removed as suggested there is a risk of some damage to the property in the short to medium term as a result of heave as the clay subsoil rehydrates and recovers which may require some ongoing repair of cracking from time to time.

The rainwater goods and below ground drainage should be repaired as necessary.

In addition the outer leaf of brickwork was displaying slight out of plane movement and the wall ties were found to have some surface corrosion therefore we would recommend installation of remedial wall in the short to medium term.



## **Appendix A | Understanding This Report**

This report is written for the benefit of the named client in relation to the subject property only. It should not be used for any other purpose, and may only be copied to a third party with the permission of the Client or BDI structural solutions.

The scope of this report is limited to the consideration of the issues described under the term of reference.

Unless specifically referred to in the report we have not inspected woodwork or other parts of the structure, which are covered, unexposed or inaccessible and are therefore unable to report that any such part of the property is free from defect.

The various sections of the report contain information as follows:

### **General Description of Property**

A brief summary of the type of building. This is factual information and does not describe the condition of the property.

### **Background**

Outlines the reasons for the client instructing BDI structural solutions to carry out the survey and report. Any special instructions or particular relevant background information given to us will also be included in this section.

### **Observations**

The damage or other characteristics of the subject property are described in this section. Factual observations are recorded, including any measurements taken, but opinions on causes and recommendations are not given in this section.

### **Discussions and Conclusions**

This section summarises our expert consideration of the damage and any other characteristics relating to the subject property. In many cases the options will be discussed and where appropriate the advantages and disadvantages of different solutions are discussed.

### **Suggested Timescale and Budget Costing**

Where appropriate we give an indication of the timescale that should be considered for any recommended solutions. Where budget costings are provided these are purely provided as a guide and are based upon our experience of costs of similar repairs to similar properties. Accurate costings should be obtained from suitably qualified and experienced building contractors.

### **Queries**

We try wherever possible to avoid the use of unfamiliar technical terms or jargon and to provide practical technical advice. If you are unclear about the meaning of any words or phrases, or the conclusions of our report, please call us and we will clarify matters for you. If necessary we will revise and reissue this report.